



CITY OF OWOSSO
Zoning Board of Appeals

Tuesday, July 16, 2019 at 9:30 a.m.
Council Chambers – Owosso City Hall
Owosso, MI 48867

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF AGENDA – July 16, 2019

APPROVAL OF MINUTES – May 21, 2019

OLD BUSINESS – None

NEW BUSINESS / PUBLIC HEARINGS:

APPLICANT: MEMORIAL HEALTH CARE
LOCATION OF APPEAL: 826 W KING STREET, Owosso, MI 48867
PARCEL NUMBERS: 050-310-000-006-00, 050-310-000-007-00, 050-310-000-008-00,
050-310-000-009-00, 050-310-003-001-00, 050-310-003-002-00,
050-310-003-003-00, 050-310-001-015-00, 050-310-001-016-00,
050-310-001-017-00, 050-310-001-001-00, 050-310-001-002-00,
050-310-001-003-00, 050-310-001-004-00
PROPERTY ZONING: R-1, ONE-FAMILY RESIDENTIAL and OS-1, OFFICE SERVICE

OTHER BOARD BUSINESS

PUBLIC COMMENTS AND COMMUNICATIONS

ADJOURNMENT

Next regular meeting will be on Tuesday, August 20, 2019, if any requests are received.

Commissioners, please call Tanya at 725-0540 if you will be unable to attend this meeting

The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and recordings of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing or calling the following: Amy Kirkland, City Clerk, 301 W. Main St, Owosso, MI 48867 (989) 725-0500. The City of Owosso website is: www.ci.owosso.mi.us

**MINUTES
REGULAR MEETING OF THE OWOSSO ZONING BOARD OF APPEALS
CITY OF OWOSSO
MAY 21, 2019 AT 9:30 A.M.
CITY COUNCIL CHAMBERS**

CALL TO ORDER: The meeting was called to order by Chairman Randy Horton at 9:30 a.m.

ROLL CALL: Was taken by Tanya Buckelew.

MEMBERS PRESENT: Chairman Randy Horton, Board Members Michael Bruff, Matthew Grubb and Tom Taylor

MEMBERS ABSENT: Vice-Chairman Christopher Eveleth, Board Member Kent Telesz and Alternate Robert Teich

OTHERS PRESENT: Justin Sprague, CIB Planning, Craig Hoppen, Owner/President J&H Oil

AGENDA:

IT WAS MOVED BY BOARD MEMBER BRUFF AND SUPPORTED BY BOARD MEMBER TAYLOR TO APPROVE THE AGENDA FOR THE MAY 21, 2019 REGULAR MEETING AS PRESENTED.

YEAS: ALL. MOTION CARRIED.

MINUTES:

IT WAS MOVED BY BOARD MEMBER GRUBB AND SUPPORTED BY BOARD MEMBER BRUFF TO APPROVE THE MINUTES OF OCTOBER 16, 2018 AS PRESENTED.

YEAS: ALL. MOTION CARRIED.

OLD BUSINESS: - None

NEW BUSINESS/PUBLIC HEARINGS:

APPLICANT: THE HOP FAMILY, LLC (J & H FAMILY STORES)
LOCATION OF APPEAL: 917 E MAIN ST, Owosso, MI 48867
PARCEL NUMBER: 050-112-000-034-00
PROPERTY ZONING: B-4 GENERAL BUSINESS DISTRICT
CASE #: P2019-003

THE APPLICANT IS PROPOSING TO DEMOLISH THE EXISTING C-STORE BUILDING AND OLD HOUSE TO CONSTRUCT A NEW CONVENIENCE STORE AND GAS STATION. THE APPLICANT HAS REQUESTED VARIANCES TO THE ZONING ORDINANCE.

VARIANCE REQUEST #1:

SECTION 38-397 COMMERCIAL DESIGN REQUIREMENTS PARAGRAPH (A) (3) WINDOW AREA OR SPANDREL GLASS SHALL MAKE UP AT LEAST TWENTY PERCENT (20%) OR MORE OF THE EXTERIOR WALL AREA FACING A PRINCIPAL STREET(S).

THE PROPOSED BUILDING MEETS THIS REQUIREMENT ON THE SOUTH ELEVATION FACING MAIN STREET. THE APPLICANT IS SEEKING A VARIANCE FOR THE EAST BUILDING ELEVATION FACING GOULD STREET AND PROPOSING APPROXIMATELY 9% GLASS AREA.

VARIANCE REQUEST #2:

SECTION 38-397 COMMERCIAL DESIGN REQUIREMENTS PARAGRAPH (A) (4) A PORTION OF THE ON-SITE LANDSCAPING SHALL ABUT THE WALLS SO THAT THE VEGETATION COMBINED WITH THE ARCHITECTURAL FEATURES SIGNIFICANTLY REDUCE THE VISUAL IMPACT OF THE

BUILDING MASS AS VIEWED FROM THE STREET. *THE APPLICANT IS PROPOSING DECORATIVE STAMPED CONCRETE IN-LIEU OF FOUNDATION LANDSCAPING, AND REQUESTS A VARIANCE.*

Craig Hoppen, Owner/President of J&H Oil Co. was present to discuss the plans for the new building. J&H bought the property about 2 years ago. The proposal is to remove the existing store and house to accommodate for a new convenience store and gas station. The Pacific Pride commercial station would remain and add a new canopy and gas pumps in the front facing Main Street.

Richard Burlingame, Attorney, 831 E. Main Street, asked about the commercial pumps and viewed the site plan.

Louise Hubbard, 919 E Exchange Street, had called the building department asking about her view and she was told that she was welcome to stop in and view the pictures, etc. She also expressed concern over the mailboxes and would they be moved. This information was relayed to Mr. Hoppen, who would let his contractor be aware of the potential of needing to move the boxes.

VARIANCE REQUEST #2: (out of order so the owner had time to contact the architect)

SECTION 38-397 COMMERCIAL DESIGN REQUIREMENTS PARAGRAPH (A) (4) A PORTION OF THE ON-SITE LANDSCAPING SHALL ABOUT THE WALLS SO THAT THE VEGETATION COMBINED WITH THE ARCHITECTURAL FEATURES SIGNIFICANTLY REDUCE THE VISUAL IMPACT OF THE BUILDING MASS AS VIEWED FROM THE STREET. *THE APPLICANT IS PROPOSING DECORATIVE STAMPED CONCRETE IN-LIEU OF FOUNDATION LANDSCAPING, AND REQUESTS A VARIANCE.*

FINDINGS OF FACT AND CONCLUSIONS

Upon motion of Board Member Grubb, seconded by Board Member Bruff, the following findings, conclusions, decisions, and conditions were adopted by the Board as its decision on the above variance. The applicant **does** meet the applicable nine (9) facts of findings:

a. Basic Conditions 1-9 in order for the variance to be granted.

Factor 1: (Section 38-504(3) a.1.) "Will not be contrary to the public interest or to the intent and purpose of this chapter."

The intent of this chapter is to ensure the use of high-quality materials, provide an open and inviting look for customers. Utilizing decorative concrete will not be contrary to the intent of the ordinance.

Factor 2: (Section 38-504(3) a.2.) "Shall not permit the establishment within a district of any use which is not permitted by right within that zone district, or any use or dimensional variance for which a conditional use permit or a temporary use permit is required."

The use is a principal use permitted in the district subject to special conditions.

Factor 3: (Section 38-504(3) a.3.) "Is one that is unique and not shared with other property owners."

This condition is applied across the community and is not unique to this property.

Factor 4: (Section 38-504(3) a.4.) "Will relate only to property that is under control of the applicant."

The variance will only relate to the property under the control of the applicant.

Factor 5: (Section 38-504(3) a.5.) “Is applicable whether compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk or density would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.”

The strict letter of the law will not prevent the owner of the property from reasonably using the property, and it would not be unnecessarily burdensome to comply.

Factor 6: Section 38-504(3) a.6.) “Was not created by action of the applicant (i.e., that it was not self-created.)

The need for the variance is self-created. The applicant states that the landscaping next to the building will be difficult to maintain, especially during winter months when salt is applied to the sidewalk next to the building.

Factor 7: Section 38-504(3) a.7.) “Will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets or increase the danger of fire or endanger the public safety.”

The variance would not impair the supply of light or air to adjacent properties, create unreasonable congestion, increase fire danger or endanger the public.

Factor 8: Section 38-504(3) a.8.) “Will not cause a substantial adverse effect upon property values in the immediate vicinity or in the district in which the property of the applicant is located.”

The variance would not impact property values in the immediate vicinity.

Factor 9: Section 38-504(3) a.9.) “Is applicable whether a grant of the variance applied for would do substantial justice to the applicant as well as to other property owners in the area, or whether a lesser relaxation than that applied for would give substantial relief to the owner of the property involved and be more consistent with justice to other property owners.”

Applying a lesser variance would possibly provide justice to the property owner; however other properties in the area appear to not have landscaping abutting their walls either.

Special Conditions. When all of the foregoing basic conditions can be satisfied, a variance may be granted when any one (1) of the following special conditions can be clearly demonstrated:

1. “Where there are practical difficulties or unnecessary hardships which prevent carrying out the strict letter of this chapter. These hardships or difficulties shall not be deemed economic, but shall be evaluated in terms of the use of a particular parcel of land.”

There appear to be no practical difficulties or undue hardships preventing the strict letter of this chapter.

2. “Where there are exceptional or extraordinary circumstances or physical conditions such as narrowness, shallowness, shape, or topography of the property involved, or to the intended use of the property, that do not generally apply to other property or uses in the same zoning district.”

There appear to be no exceptional or extraordinary circumstances or physical conditions with this property that do not generally apply to other properties in the same district.

3. "Where such variation is necessary for the preservation of a substantial property right possessed by other properties in the same zoning district."

A variation would be necessary for the preservation of a substantial property right possessed by others in the same district.

The request for a variance is approved to allow the use of decorative stamped and colored concrete in place of abutting landscaping for the following reasons:

1. The variance would not be contrary to the intent of the ordinance;
2. The variance would provide justice shared by other properties in the area;
3. A variation is necessary for the preservation of a substantial property right possessed by others in the same district.

The variance was approved based on all aspects of the plans and descriptions submitted. The structure, use or activity shall be constructed or carried on in accordance with the plans and/or description provided by the Applicant. All aspects of construction shall be in compliance with the plan submitted, regardless of whether a variance was sought or necessary for certain dimensional or other aspects of the plan.

Any variance granted by the Zoning Board of Appeals shall not be valid after a period of six (6) months from the date granted unless the owner shall have taken substantial steps, as determined by the Board, in implementing the variance granted by the Board." Sec. 38 504(c) 2. i. ii., Chapter 38, of the City of Owosso Zoning Ordinance.

The above findings, conclusions and decision were adopted by a 3 to 1 roll call vote as follows:

**AYES: BOARD MEMBERS BRUFF, GRUBB AND CHAIRMAN HORTON
NAYS: BOARD MEMBER TAYLOR**

VARIANCE REQUEST #1:

SECTION 38-397 COMMERCIAL DESIGN REQUIREMENTS PARAGRAPH (A) (3) WINDOW AREA OR SPANDREL GLASS SHALL MAKE UP AT LEAST TWENTY PERCENT (20%) OR MORE OF THE EXTERIOR WALL AREA FACING A PRINCIPAL STREET(S).

THE PROPOSED BUILDING MEETS THIS REQUIREMENT ON THE SOUTH ELEVATION FACING MAIN STREET. THE APPLICANT IS SEEKING A VARIANCE FOR THE EAST BUILDING ELEVATION FACING GOULD STREET AND PROPOSING APPROXIMATELY 9% GLASS AREA.

FINDINGS OF FACT AND CONCLUSIONS

Upon motion of Board Member Taylor, seconded by Board Member Bruff, the following findings, conclusions, decisions, and conditions were adopted by the Board as its decision on the above variance. The applicant **does not** meet the applicable nine (9) facts of findings:

- a. **Basic Conditions 1-9 in order for the variance to be granted.**

Factor 1: (Section 38-504(3) a.1.) "Will not be contrary to the public interest or to the intent and purpose of this chapter."

The intent of this chapter is to ensure the use of high-quality materials, provide an open and inviting look for customers and to improve overall safety by having more transparency into the store along with more eyes on the street. While the reduction is only 11%, we feel that the building is small enough that this would be a significant change from the ordinance.

Factor 2: (Section 38-504(3) a.2.) "Shall not permit the establishment within a district of any use which is not permitted by right within that zone district, or any use or dimensional variance for which a conditional use permit or a temporary use permit is required."

The use is a principal use permitted in the district subject to special conditions.

Factor 3: (Section 38-504(3) a.3.) "Is one that is unique and not shared with other property owners."

This condition is applied across the community and is not unique to this property.

Factor 4: (Section 38-504(3) a.4.) "Will relate only to property that is under control of the applicant."

The variance will only relate to the property under the control of the applicant.

Factor 5: (Section 38-504(3) a.5.) "Is applicable whether compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk or density would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome."

The strict letter of the law will not prevent the owner of the property from reasonably using the property, and it would not be unnecessarily burdensome to comply.

Factor 6: Section 38-504(3) a.6.) "Was not created by action of the applicant (i.e., that it was not self-created.)"

The need for the variance is not self-created. If the applicant property were not situated on a corner lot, the applicant lot, the applicant would comply with the ordinance.

Factor 7: Section 38-504(3) a.7.) "Will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets or increase the danger of fire or endanger the public safety."

The variance would not impair the supply of light or air to adjacent properties, create unreasonable congestion, increase fire danger or endanger the public.

Factor 8: Section 38-504(3) a.8.) "Will not cause a substantial adverse effect upon property values in the immediate vicinity or in the district in which the property of the applicant is located."

The variance would not impact property values in the immediate vicinity.

Factor 9: Section 38-504(3) a.9.) "Is applicable whether a grant of the variance applied for would do substantial justice to the applicant as well as to other property owners in the area, or whether a lesser relaxation than that applied for would give substantial relief to the owner of the property involved and be more consistent with justice to other property owners."

Applying a lesser variance would possibly provide justice to the property owner; however other properties in the area seem to have met the glass requirement while also situated on a corner lot.

Special Conditions. When all of the foregoing basic conditions can be satisfied, a variance may be granted when any one (1) of the following special conditions can be clearly demonstrated:

1. "Where there are practical difficulties or unnecessary hardships which prevent carrying

out the strict letter of this chapter. These hardships or difficulties shall not be deemed economic, but shall be evaluated in terms of the use of a particular parcel of land.”

The only potential practical difficulty is the fact that this lot is a corner lot requiring two front façades to be applied. As noted above, other similarly situated properties on corner lots seem to meet the 20% glass requirement

2. “Where there are exceptional or extraordinary circumstances or physical conditions such as narrowness, shallowness, shape, or topography of the property involved, or to the intended use of the property, that do not generally apply to other property or uses in the same zoning district.”

There appear to be no exceptional or extraordinary circumstances or physical conditions with this property that do not generally apply to other properties in the same district.

3. “Where such variation is necessary for the preservation of a substantial property right possessed by other properties in the same zoning district.”

A variation would be necessary for the preservation of a substantial property right possessed by others in the same district.

The variance is denied to allow for a reduction of required glass façade from 20% to 9%, for the following reasons:

1. A reduction would be contrary to the intent of the ordinance;
2. The condition is not unique to the property;
3. The strict letter of the law will not prevent the owner of the property from reasonably using the property, and it would not be unnecessarily burdensome to comply;
4. The variance would not provide justice shared by other properties in the area;
5. There appear to be no exceptional or extraordinary circumstances or physical conditions with this property that do not generally apply to other properties in the same district; and
6. A variation is not necessary for the preservation of a substantial property right possessed by others in the same district.

The motion failed by a 3 to 1 roll call vote as follows:

AYES: BOARD MEMBER TAYLOR

NAYS: BOARD MEMBERS BRUFF, GRUBB AND CHAIRMAN HORTON

Upon motion of Board Member Bruff, seconded by Board Member Grubb, to table Variance Request #1 until the June meeting if necessary. If J & H Family Store is able to meet the 20% requirement by installing spandrel or opaque windows on the warehouse, this variance request would not be required.

The motion passed by a 3 to 1 roll call vote as follows:

AYES: BOARD MEMBERS BRUFF, GRUBB AND CHAIRMAN HORTON

NAYS: BOARD MEMBER TAYLOR

OTHER BOARD BUSINESS: None

PUBLIC COMMENTS AND COMMUNICATIONS: None

ADJOURNMENT:

**MOTION BY BOARD MEMBER BRUFF AND SUPPORTED BY BOARD MEMBER TAYLOR TO
ADJOURN AT 10:40 A.M. UNTIL THE NEXT REGULARLY SCHEDULED MEETING ON TUESDAY,
JUNE 18, 2019, IF ANY REQUESTS ARE RECEIVED.**

YEAS: ALL. MOTION CARRIED.

Matthew Grubb, Secretary

DRAFT

OFFICIAL NOTICE OF PROPOSED VARIANCE

The Zoning Board of Appeals of the City of Owosso will hold a Public Hearing in the Council Chambers of City Hall at **9:30 a.m. on Tuesday, July 16, 2019** to consider the following request:

APPLICANT: MEMORIAL HEALTH CARE
LOCATION OF APPEAL: 826 W KING STREET, Owosso, MI 48867
PARCEL NUMBERS: 050-310-000-006-00, 050-310-000-007-00, 050-310-000-008-00, 050-310-000-009-00, 050-310-003-001-00, 050-310-003-002-00, 050-310-003-003-00, 050-310-001-015-00, 050-310-001-016-00, 050-310-001-017-00, 050-310-001-001-00, 050-310-001-002-00, 050-310-001-003-00, 050-310-001-004-00
PROPERTY ZONING: R-1, ONE-FAMILY RESIDENTIAL and OS-1, OFFICE SERVICE
CASE #: P2019-124

The applicant is seeking variances to allow the addition of a Neuro/Ortho/Wellness Center:

VARIANCE REQUEST #1:

The building height of 43'4" exceeds the maximum height of 35 feet, permitted by *Section 38-351, Schedule Limiting Height, Bulk, Density, and Area by Zoning District*

VARIANCE REQUEST #2:

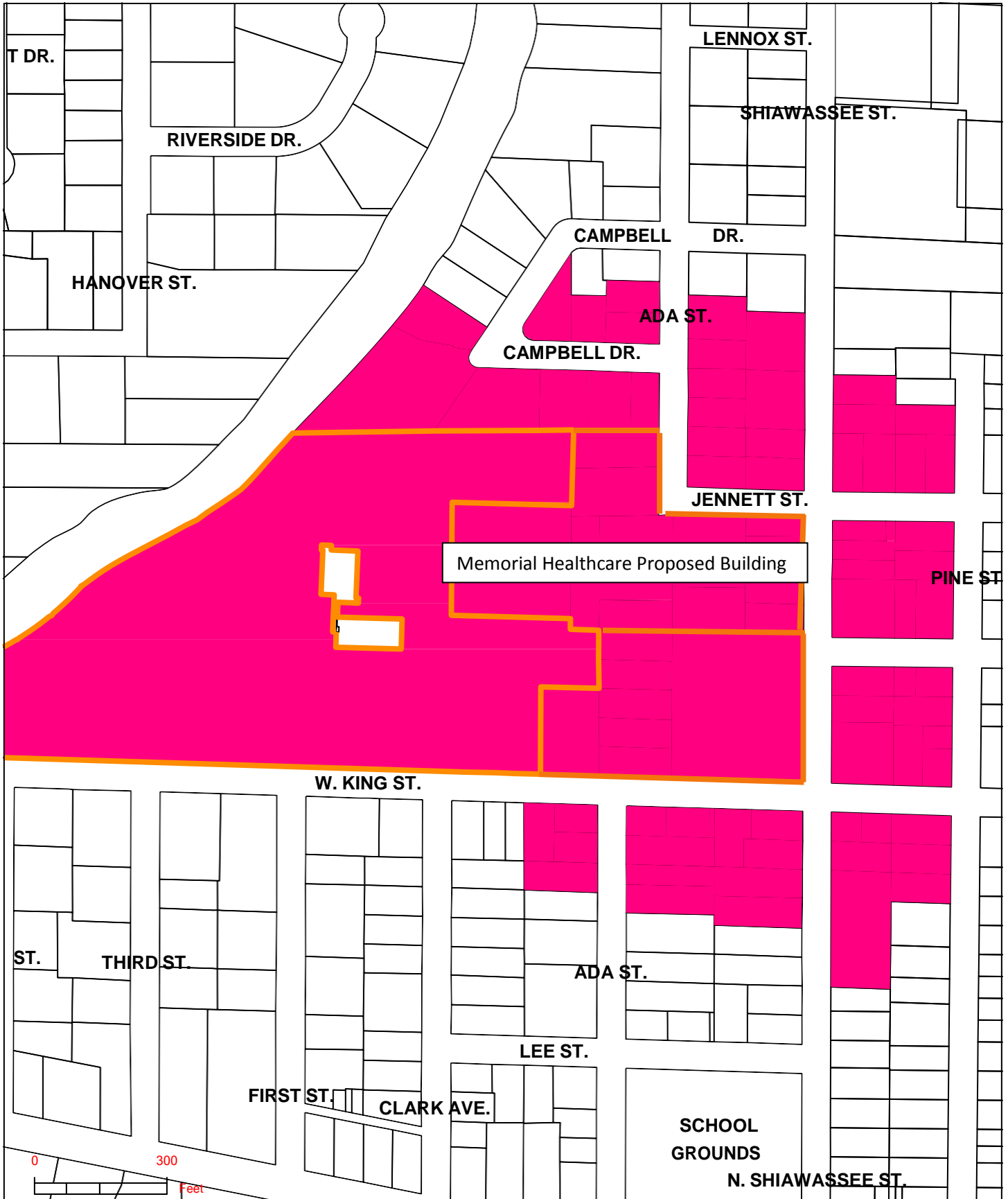
A variance to permit a parking lot setback of 25 feet where *Section 38(43)(9)(d) Off-Street Parking* requires off-street parking lots to be set back 50 feet from local streets.

The City of Owosso Municipal Code requires approval of dimensional variances from the Zoning Board of Appeals.

As an affected property owner, resident, business, or taxpayer, you are encouraged to acquaint yourself with this proposal and make your position on the request known to the Zoning Board of Appeals. You may do so by being present for the public hearing, writing a letter stating your position, email tanya.buckelew@ci.owosso.mi.us or phoning 989-725-0540. Information on this case is on file in the Zoning Office at City Hall for your review.

The City of Owosso will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon seventy-two (72) hours notice to the City of Owosso. Individuals with disabilities requiring auxiliary aids or services should contact the City of Owosso by writing or calling Amy Kirkland, City Clerk, 301 W. Main St, Owosso, MI 48867 (989) 725-0500. Website address is www.ci.owosso.mi.us

OWOSSO



The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the Owosso Zoning Ordinance and following all requirements therein. Further, these professionals shall make themselves aware of all Owosso Master Plan requirements, for example, major thoroughfares, land use, recreations and etc.

I certify that the above required information is shown on the site plan included with this form.


Signature of property owner

Date 

2019 Meeting Dates Submittal Deadlines

January 15	December 11
February 19	January 15
March 19	February 19
April 16	March 12
May 21	April 16
June 18	May 14
July 16	June 11
August 20	July 16
September 17	August 13
October 15	September 10
November 19	October 15
December 17	November 12



OWOSSO ZONING BOARD OF APPEALS APPLICATION

City of Owosso
301 W. Main Street, Owosso, MI 48867
Phone: (989) 725.0544 Fax: (989) 725-0526

Fee \$400 (Commercial) or \$175 (Residential)

**1. PROJECT INFORMATION
TO THE OWOSSO ZONING BOARD OF APPEALS; I (WE)**

Applicant Name: Memorial Healthcare (Attn: Brian Long, President, CEO)

Address: 826 W. King St.

City, State, Zip: Owosso, MI 48867

Phone Number: 989-729-4802

E-Mail: pclarizio@memorialhealthcare.org

HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FOR A:

Variance () Permit () Interpretation () or Review and Approval ()

Address/Location of Property: 826 W. King St. Owosso, MI 48867

Parcel #: L155 P452 (TC) and L162 P21 (TC)

Zoning District: R-1 (residential); OS-1 Office

2. REQUIRED ATTACHMENTS:

- 10 copies of site plan
- 10 copies of the application (pages 2-5 only)
- Description of how the requested variance meets all of the nine (9) Facts of Findings
- Narrative demonstrating why a variance is being sought
- Required fee

3. DESCRIPTION OF CASE: (fill out only the items that apply to your case)

a. Description of the property:

- Size of lot: 24.29 Acres
- Area of lot: 1,058,071 SF
- Lot is a corner or interior lot? Corner

b. Description of existing structures:

- Number of buildings now on premises: 5

o Size of each building now on premises: See separate sheet - Attachment 1

o Use of existing buildings on premises: See separate sheet - Attachment 1

c. Description of proposed structures:

o Height of proposed structures: 43'-4" (top of roof at partial 3rd floor); 30'-8" (2nd floor top of parapet)

o Dimensions of proposed building or addition: 246'-8" x 246'-8"

o Area of proposed building: 101,320 SF

o Percentage of lot coverage of building or addition: 4.0%

d. Yard setbacks after completion of building or addition:

o Front yard (measured from lot line): 50'

o Side yard (measured from lot line): 25'

o Rear yard (measured from lot line): NA

e. A sketch depicting the above information shall accompany this application. The sketch shall be on a sheet of paper 8 ½" X 11" in size.

f. Section number of Zoning Ordinance that is being appealed: 38-351; 38-53(9)(d)

g. Clearly state your request:

1. Variance for Building Height (38-351): The maximum building height in the OS-1 District is 35 feet. The new building has a partial 3rd story with a roof height of 43'-4", and the 2nd floor roof height is at 30'-8". The third floor is set back from the front of the building and has a height similar to the adjacent Medical Arts Building. Per the planning consultant the building height is appropriate given the scale of the hospital complex.

2. Variance for parking lot setback (along Ada Street) (38-53(9)(d)): the ordinance states that "Offstreet parking lots shall be set back fifty (50) feet from a local street". The parking expansion along Ada provides a 25' setback.

4. DUTIES AND POWERS

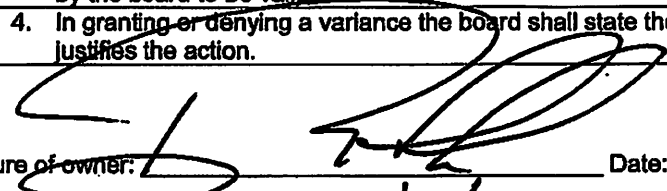
The Board shall have the power to authorize, upon an appeal, specific variances from such requirements as lot area and width regulations, building height regulations, yard and depth regulations, and off-street parking and loading space requirements provided it finds that ALL of the basic conditions described below, and as stated in Section 38-504(3)a.1-9 can be satisfied. The appellant shall submit, along with the established fee and other materials, a narrative demonstrating why a variance is sought.

a. Basic conditions. In order to qualify for a variance, the applicant must show that a variance:

1. Will not be contrary to the public interest or to the intent and purpose of this chapter.
2. Shall not permit the establishment within a district of any use which is not permitted by right within that zone district, or any use or dimensional variance for which a special land use permit is required.
3. Is unique and not shared with other property owners.
4. Will relate only to property that is under control of the applicant.
5. Is applicable whether compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk or density would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.
6. Was not created by action of the applicant (not self-created).
7. Will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets or increase the danger of fire or endanger the public safety.
8. Will not cause a substantial adverse effect upon property values in the immediate vicinity or in the district in which the property of the applicant is located.
9. Is applicable whether a grant of the variance applied for would do substantial justice to the applicant as well as to other property owners in the area, or whether a lesser relaxation than that applied for would give substantial relief to the owner of the property involved and be more consistent with justice to other property owners.

b. Special conditions: When all of the basic conditions can be satisfied a variance may be granted when any one (1) of the following special conditions can be clearly demonstrated:

1. The board may specify, in writing, such conditions regarding the character, location, and other features that will, in its judgment, secure the objectives and purposes of this chapter. The breach of any such condition shall automatically invalidate the permit granted.
2. Each variance granted under the provisions of this chapter shall become null and void unless:
 - i. The construction authorized by such variance or permit has been commenced within six (6) months after the granting of the variance and proceeds to completion in accordance with the terms of the variance;
 - ii. The occupancy of land, premises, or buildings authorized by the variance has taken place within one (1) year after the granting of the variance.
3. No application for a variance which has been denied wholly or in part by the board shall be resubmitted for a period of one (1) year from the date of the last denial, except on the grounds of newly-discovered evidence or proof of changed conditions found upon inspection by the board to be valid.
4. In granting or denying a variance the board shall state the findings of fact upon which it justifies the action.

Signature of owner:  Date: 6/2/19

Print name: 1 Simon L. Lunk

June 11, 2019

Zoning Board of Appeals
City of Owosso
301 W. Main St.
Owosso, Michigan 48867

Re: Memorial Healthcare Neuro/Ortho/Wellness Center
ZBA Application Attachment 1

Description of Existing Structures:

Building 1 – Main Hospital: 5 stories, 246,386 SF

Building 2 – Mitchell Medical Office Building: 3 stories, 30,225 SF

Building 3 – Medical Art Building: 2 stories, 37,211 SF

Building 4 – King Street Medical Office Building: 3 stories, 34,905 SF

Building 5 – Mitchell Auditorium: 2 stories, 16,710 SF

June 11, 2019

Zoning Board of Appeals
City of Owosso
301 W. Main St.
Owosso, Michigan 48867

Re: Memorial Healthcare Neuro/Ortho/Wellness Center
ZBA Application Attachment

Narrative:

We are requesting a variance for both the height of the building and the parking lot set back on Ada Street.

The proposed N.O.W Center will serve the community by creating an uplifting and integrated health care experience. The 113,000 gross square foot 3 story facility will be located at the northeast corner of the existing Memorial Healthcare campus at M-52 and West King Street in Owosso. Contained within the building will be a Neurology Center, Wellness Center, Orthopedic Center, Rehabilitation Center, MRI Suite, Community Education, Childcare, Cafe and associated common areas. The program spaces will be connected by a two story light filled atrium containing wood and natural stone materials as well as specialty lighting. The new facility will provide state of the art services to the whole community.

As noted by the Planning Consultant (CIB Planning), the building height is appropriate given the scale of the hospital complex. Existing building on the site are 2, 3 and 5 stories. The new facility will compliment the existing structures in height while providing a unique design. The new building has a partial 3rd story with a roof height of 43'-4", and the 2nd floor roof height is at 30'-8". The third floor is set back from the front of the building and has a height similar to the adjacent Medical Arts Building.

The parking lot set back is needed to increase parking on the site. The space between ADA street and the parking lot will be constructed with a landscape buffer to obscure the view of the parking lot.

Facts of Findings:

- 1. Will not be contrary to the public interest or to the intent and purpose of this chapter.**
The new facility will enhance the community by providing state of the art medical, rehabilitation and wellness services to the community
- 2. Shall not permit the establishment within a district of any use which is not permitted by right within that zone district, or any use or dimensional variance for which a special land use permit is required.**
The Center property is currently undeveloped and located on M-52 on the north side of the main entrance to the hospital campus. The property with the hospital complex is zoned R-1, Residential, where hospitals are special land uses with conditions, and OS-1, Office where medical professional offices and facilities for human care are permitted uses.

- 3. Is unique and not shared with other property owners.**
The variance request for both building height and parking lot set back applies only to the Memorial Healthcare property and to this project in particular.
- 4. Will relate only to property that is under control of the applicant.**
The variance request for both building height and parking lot set back applies only to the Memorial Healthcare property and to this project in particular.
- 5. Is applicable whether compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk or density would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.**
It would restrict the overall program requirements for the project.
- 6. Was not created by action of the applicant (not self-created).**
Memorial Healthcare has not created this situation by its actions.
- 7. Will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets or increase the danger of fire or endanger the public safety.**
The main entrances to the Memorial Healthcare campus will be from M-52 and King Street, as they are now. The new building will be a pleasing addition to the campus and will not impair the adjacent property owners in any way.
- 8. Will not cause a substantial adverse effect upon property values in the immediate vicinity or in the district in which the property of the applicant is located.**
We do not foresee a substantial adverse effect on property values in the neighborhood or district.
- 9. Is applicable whether a grant of the variance applied for would do substantial justice to the applicant as well as to other property owners in the area, or whether a lesser relaxation than that applied for would give substantial relief to the owner of the property involved and be more consistent with justice to other property owners.**
This will benefit both the property Owner and adjacent properties.



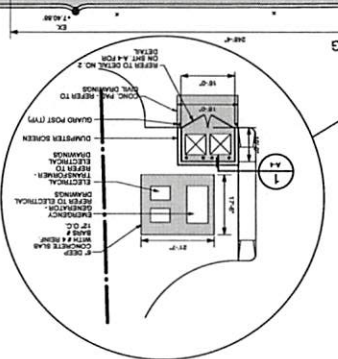
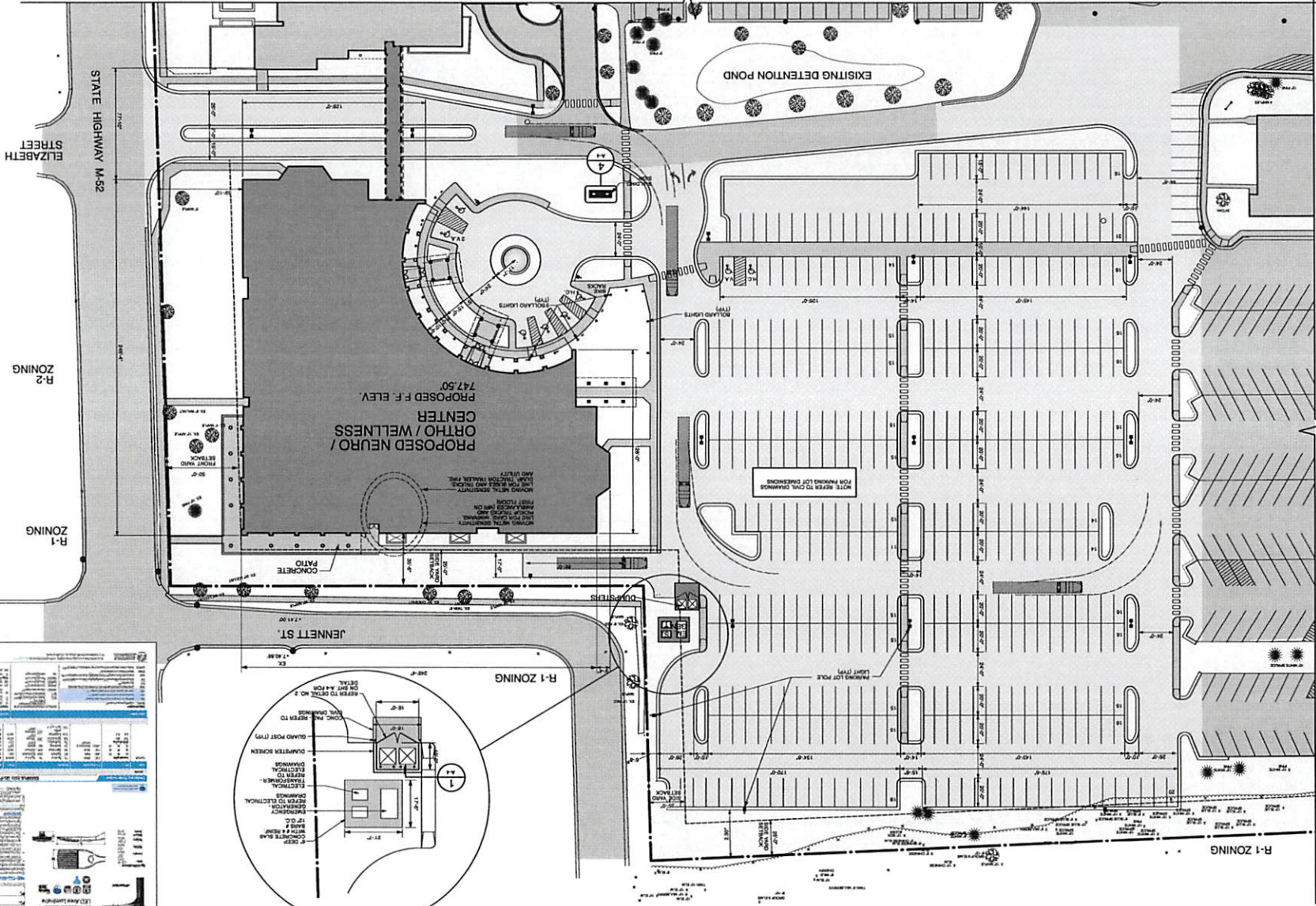
Memorial Healthcare Neuro / Ortho / Wellness Center

Owosso, Michigan

<p>MECHANICAL UNITS HVAC MECHANICAL UNITS WILL BE LOCATED IN THE BASEMENT WITH ANEAKWAYS AT GRADE LEVEL TO PROVIDE INTAKE AND EXHAUST GRILLES.</p> <p>PROPOSED GROUND SIGN REFER TO SHEET A-4 - 38 S.F. (ILLUMINATED FROM GROUND FLOOR LIGHTS)</p> <p>PROPOSED BUILDING SIGN REFER TO SHEET A-15 - 377 S.F. (LETTERS TO BE BACKLIT)</p>	<p>Project Narrative:</p> <p>The proposed N.O.W. Center will serve the community by creating an updated and integrated health care experience. The 110,000 gross square foot 3 story facility will be located at the northeast corner of the existing Memorial Healthcare campus at 1st and 7th Street in Owosso.</p> <p>The facility will sit directly on 1st and 7th north of the existing Memorial Care Building. Existing building materials include granite, glass, natural stone, and aluminum panels. Vehicular access to the building will be off a circular drive with two designated drop off/pickup, one for the Wellness Center and one for the clinical areas. Parking areas to the west of the facility will be reconfigured to provide an additional 200 spaces. Newly adjacent to the building, building receiving areas and a mobile entry port will be developed.</p> <p>Consistent with the building will be a Neurology Center, Wellness Center, Orthopedic Center, Rehabilitation Center, MRI Suite, Ambulatory Surgery, Community Education, Children, Cafe and associated outdoor areas. The program spaces will be connected by a two-story glass front entrance connecting inside and natural stone materials as well as a central atrium. A dedicated entrance to the building will be provided.</p> <p>The Neurology Center will be located on the first floor of the northeast wing of the facility and contain a reception / business area, 24 exam suites, 12 physician offices, as well as associated staff support areas, total rooms, family conference rooms, and procedure rooms.</p> <p>Adjacent to the Neurology Center will be an MRI Suite with direct access from the atrium. The suite will contain a reception / waiting area, changing room, total rooms, control room, scan room, and an equipment room. Easy access to the scan room for magnet replacement will be provided.</p> <p>The Orthopedic Center will be located on the second floor of the northeast wing and accessible from the exterior located directly across from the clinical entrance doors. The suite will contain a reception / business area, 27 exam rooms, 7 physician offices, 8 staff offices, clinical support areas, radiology, physician and staff lounge, linen rooms, and storage.</p> <p>The Rehabilitation Center will be located on the second floor adjacent to both the Orthopedic Center and the Wellness Center. The space will include a reception / business area, various office space, a treatment room, rehab gym, cardiovascular therapy, pediatric rehab area, speech therapy, equipment storage, staff offices, and linen rooms.</p> <p>The 3 story Wellness Center will be located in the southeast wing of the facility. The first floor will contain reception, men's / women's family locker rooms, children's community education, and an aquatic area. The aquatic area may include a four lane lap pool (under construction), a therapy pool, and a spa pool. A designated elevator and stair will lead to the second floor, two story parking / strength training area with adjacent service, storage, and multi-purpose rooms. A third floor walking / jogging track will encircle the central strength training area.</p>	<p>Owner: Memorial Healthcare</p> <p>Owner: Memorial Healthcare 440 S. Saginaw Street, Ste. 200 Owosso, MI 48867 (517) 341-7900</p> <p>Legal Description:</p> <p>Part of the northeast quarter of section 13, township 7 north, range 2 east, city of Owosso, Shiawassee County, Michigan, described as follows:</p> <p>All of the parcels described in the past of Ingersoll's addition to the city of Owosso, except block 2, and all of the land bounded east and north by said east and north of Ingersoll's addition, bounded on the south by West King Street and bounded on the east by the Shiawassee River, more particularly described as follows: beginning at the intersection of a line 33.00 feet westerly of and parallel with the east line of said northeast quarter with a line 33.00 feet northerly of and parallel with the south line of said northeast quarter, said intersection also being the southeast corner of block 1 of said east and north of Ingersoll's addition; thence north 89°53'1\"</p>	<p>Sheet Index:</p> <p>A-0 COVER SHEET A-1 EXISTING SITE PLAN A-2 COMPOSITE SITE PLAN A-3 ENLARGED SITE PLAN A-4 ARCHITECTURAL SITE DETAILS A-5 ROOF PLAN A-6 BASEMENT PLAN A-7 COMPOSITE FIRST FLOOR PLAN A-8 COMPOSITE SECOND FLOOR PLAN A-9 COMPOSITE THIRD FLOOR PLAN A-10 EXTERIOR BUILDING ELEVATIONS A-11 PHOTOMETRIC PLAN</p> <p>C-1 AREA PLAN C-2 LEGEND C-3 FINISHES C-4 FINISH SCHEDULES C-5 FINISH DETAILS C-6 FINISH DETAILS C-7 FINISH DETAILS C-8 FINISH DETAILS C-9 FINISH DETAILS C-10 FINISH DETAILS</p>	<p>applicant:</p> <p>Jordan London, aka is president Jordan London & Associates, Inc. 2344 S. Saginaw Street, Ste. 200 Owosso, Michigan 48867 phone: 517-341-7900 email: server@ele-architects.com</p> <p>JORDAN LONDON ARCHITECT No. 130134183 LICENSED ARCHITECT</p> <p>signed: </p>
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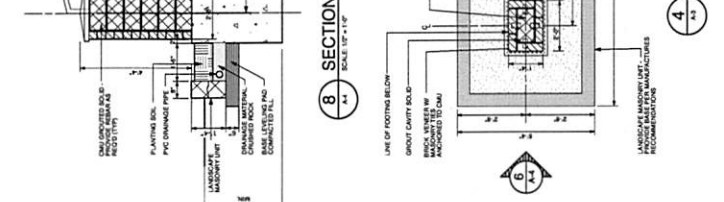
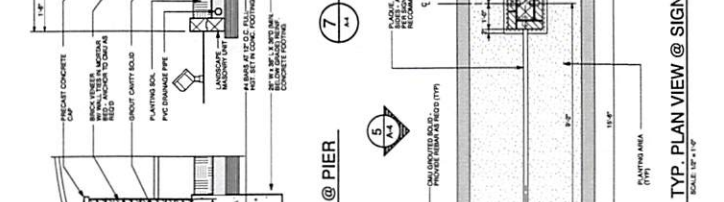
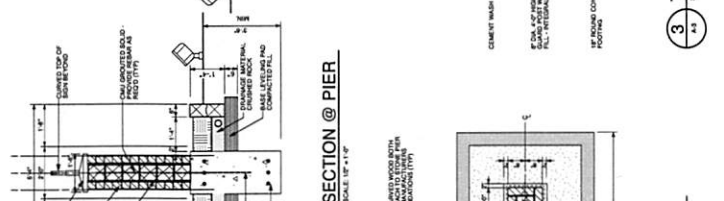
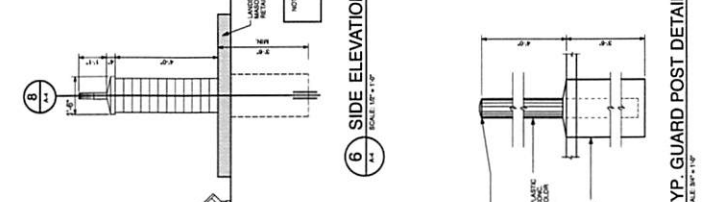
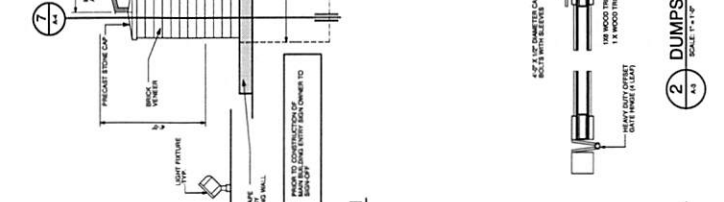
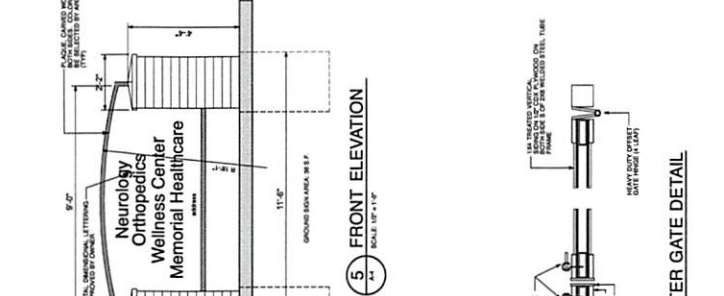
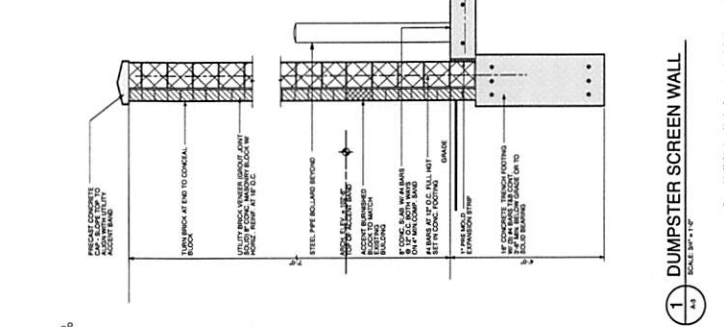
NOTE: REFER TO LANDSCAPE DRAWINGS FOR NEW PLANT MATERIAL

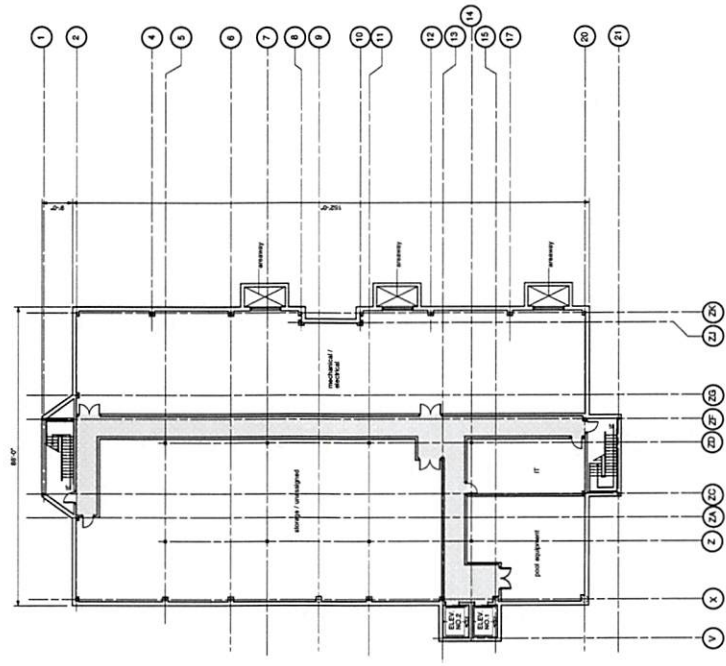
ENLARGED SITE PLAN
SCALE: 1" = 30'-0"



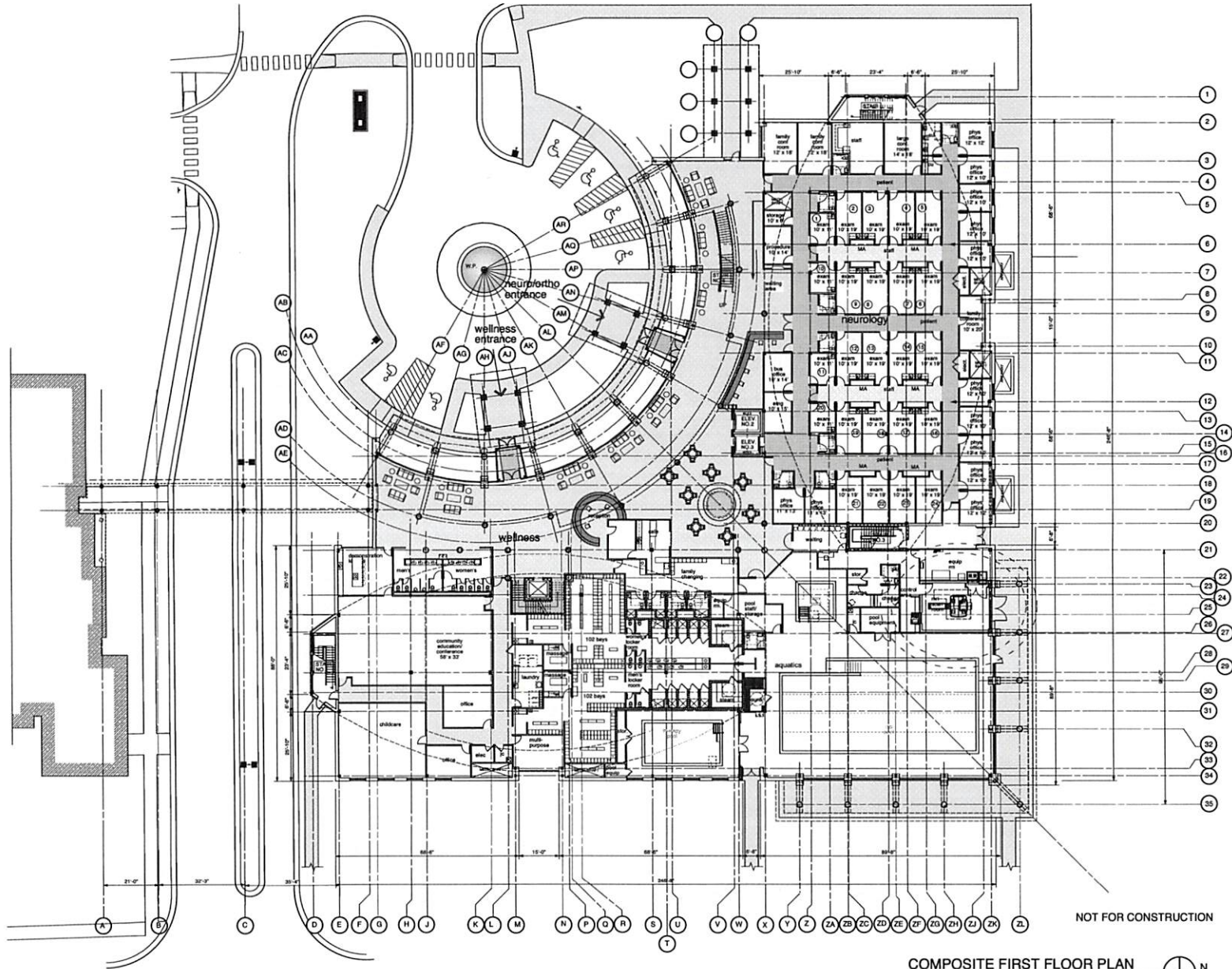
D-Series Size 1

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BASEMENT PLAN
 SCALE: 1/8" = 1'-0"
 13,900 s.f.



NOT FOR CONSTRUCTION

COMPOSITE FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



MEMORIAL HEALTHCARE
NEURO / ORTHO / WELLNESS CENTER
OWASSO, MICHIGAN



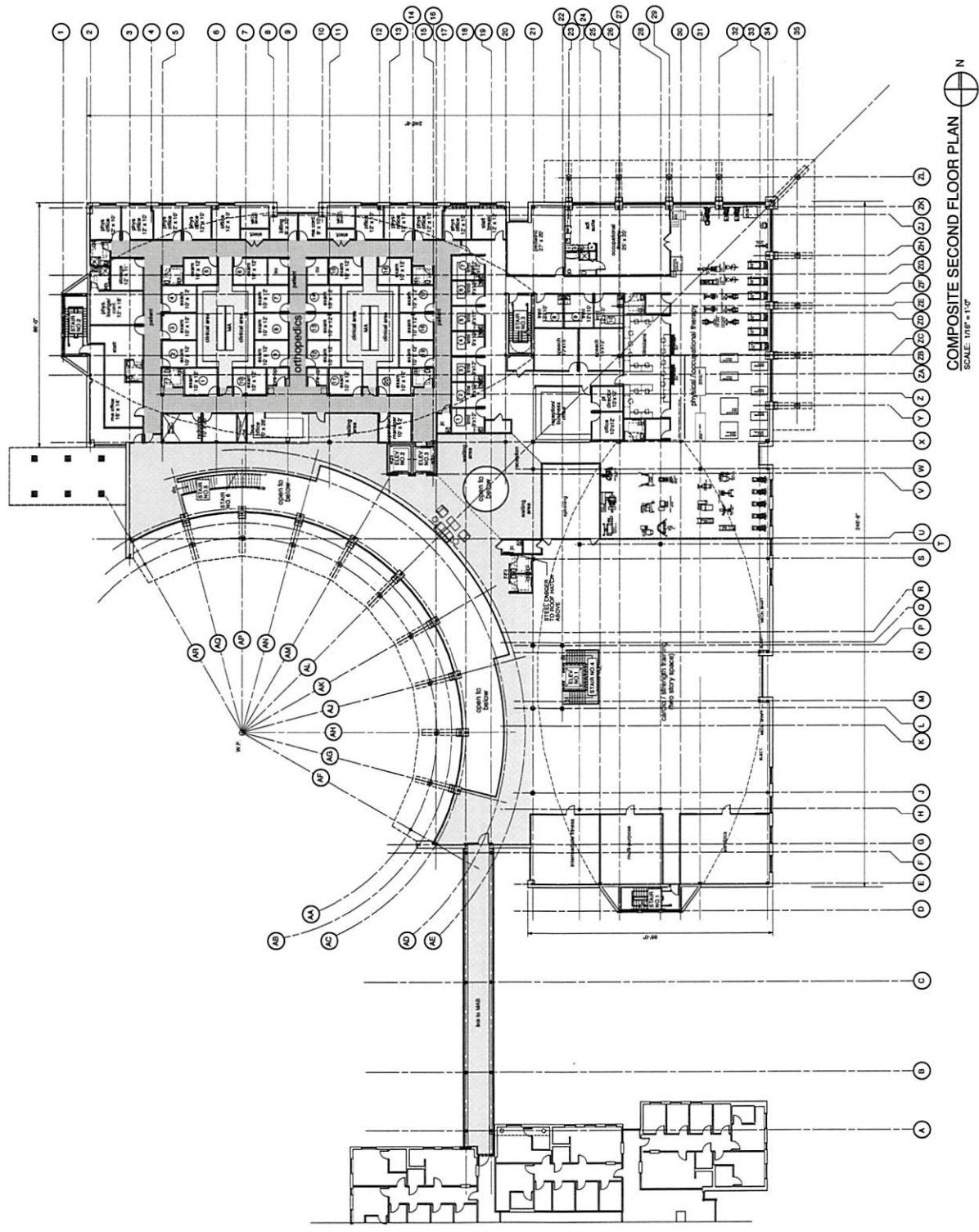
Memorial Healthcare
Neuro / Ortho / Wellness Center
Owosso, Michigan

**composite first floor
plan**

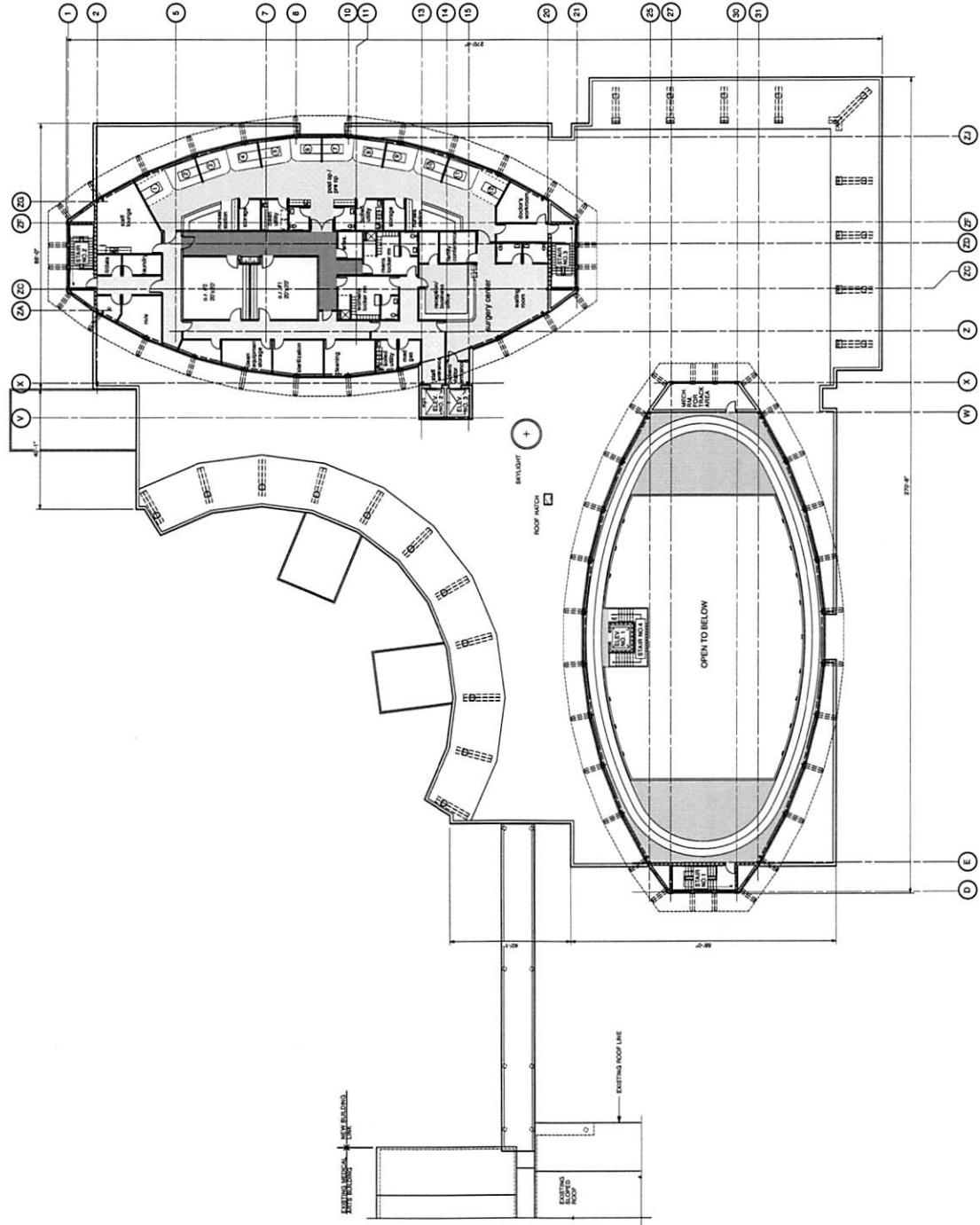
ISSUED:
R/S SUBMISSION
8/6/13
2/A SUBMISSION
8/9/13
3/A SUBMISSION
8/9/13

DRAWN BY:
JW
APPROVED BY:
RZ
JOB NUMBER
3608

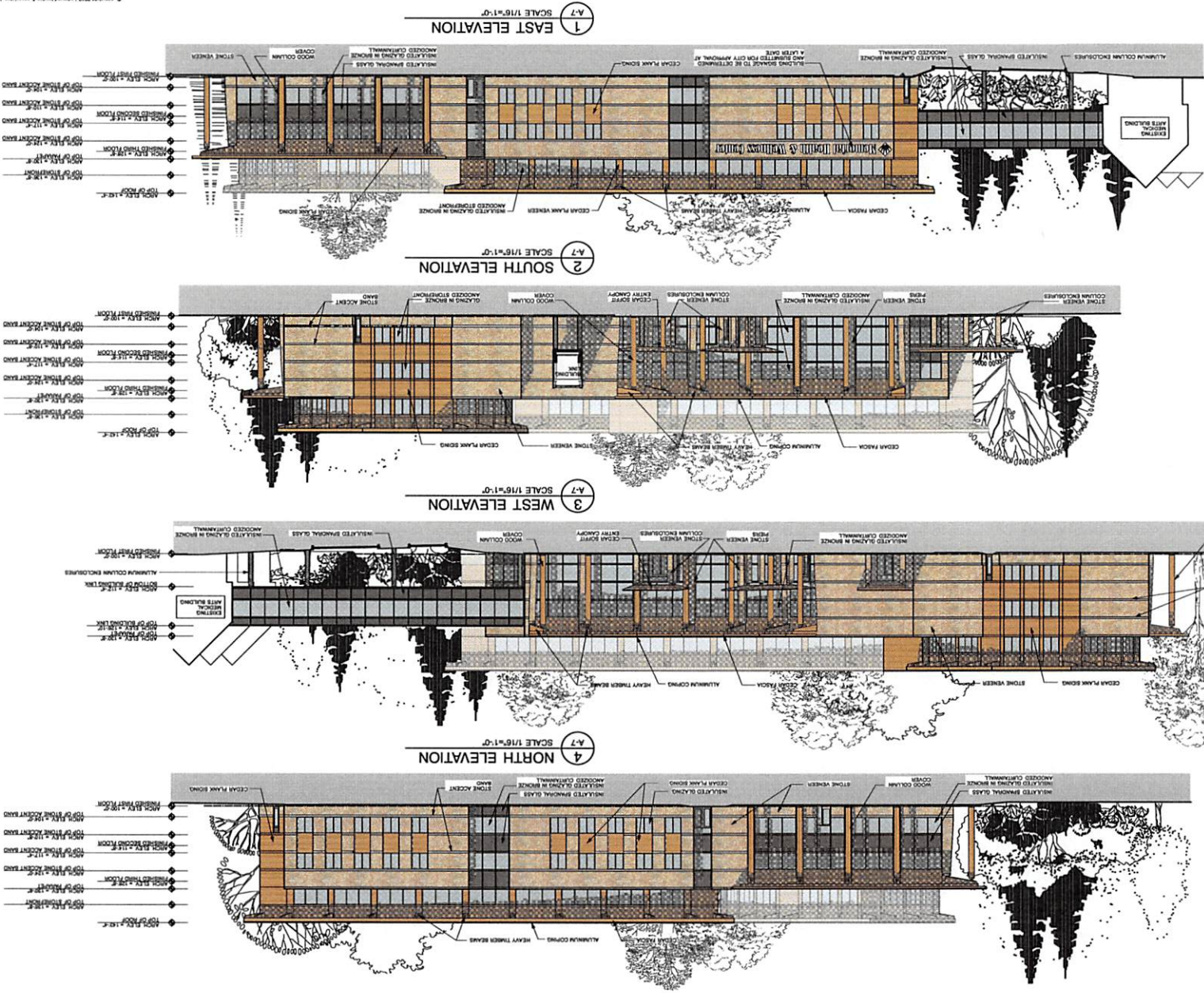
SHEET NUMBER
A-7



COMPOSITE SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"



COMPOSITE THIRD FLOOR PLAN
 SCALE: 1/16" = 1'-0"



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A-10
 SHEET NUMBER
 3608
 JOB NUMBER
 APPROVED BY
 DATE
 DRAWN BY
 DATE
 REVISIONS
 NO. DESCRIPTION
 DATE
 SCALE

exterior elevations

Memorial Healthcare
 Neuro / Ortho / Wellness Center
 Owosso, Michigan



edward linton & associates, inc.
 architects & planners
 10000 E. Grand River Ave., Suite 200
 Grand Rapids, Michigan 49507
 Tel: 616.221.4200 Fax: 616.221.4201
 www.edwardlinton.com

LED fixtures with adjustable light

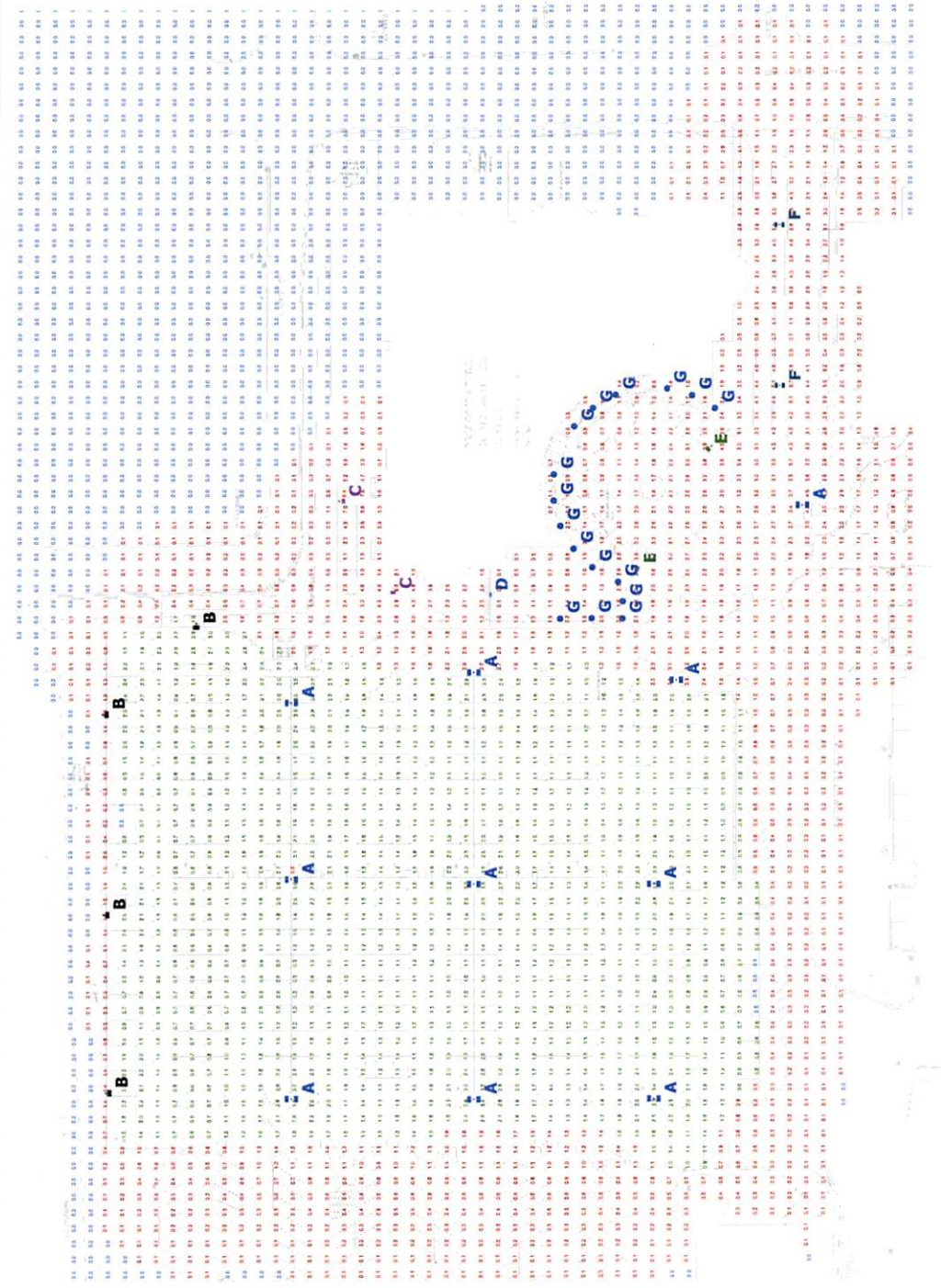
Model: D-Series Size 0
 Features:
 - 100% Dimmable
 - 100% Adjustable
 - 100% Dimmable
 - 100% Adjustable
 - 100% Dimmable
 - 100% Adjustable



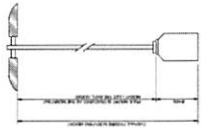
EXAMPLES EXCLUDED FROM FINISHED PLAN LIGHTING CODES

Code	Exclusion Reason
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101	Excluded from lighting code
102	Excluded from lighting code
103	Excluded from lighting code
104	Excluded from lighting code
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116	Excluded from lighting code
117	Excluded from lighting code
118	Excluded from lighting code
119	Excluded from lighting code
120	Excluded from lighting code

PHOTOMETRIC SITE PLAN
 PREPARED FOR: GIBSON LORSON & ASSOCIATES
 WWW.GIBSONLORSON.COM



Plan View
 1/8" = 1'-0"



GENERAL CONTRACT NOTES:
 - SEE LIGHTING SCHEDULE FOR LIGHTING FIXTURES.
 - THE ENGINEER AND/OR ARCHITECT SHALL BE RESPONSIBLE FOR THE LAYOUT OF LIGHTING FIXTURES AND SHALL VERIFY THAT THE LIGHTING FIXTURES ARE INSTALLED IN ACCORDANCE WITH THE LIGHTING SCHEDULE AND THE LIGHTING PLAN.
 - THE ENGINEER AND/OR ARCHITECT SHALL BE RESPONSIBLE FOR THE LAYOUT OF LIGHTING FIXTURES AND SHALL VERIFY THAT THE LIGHTING FIXTURES ARE INSTALLED IN ACCORDANCE WITH THE LIGHTING SCHEDULE AND THE LIGHTING PLAN.
 - THESE LIGHTING CALCULATIONS ARE BASED ON THE ASSUMPTIONS AND CONDITIONS SET FORTH IN THE LIGHTING PLAN AND THE LIGHTING SCHEDULE.
 - THE ENGINEER AND/OR ARCHITECT SHALL BE RESPONSIBLE FOR THE LAYOUT OF LIGHTING FIXTURES AND SHALL VERIFY THAT THE LIGHTING FIXTURES ARE INSTALLED IN ACCORDANCE WITH THE LIGHTING SCHEDULE AND THE LIGHTING PLAN.

GENERAL CONTRACT NOTES:
 - SEE LIGHTING SCHEDULE FOR LIGHTING FIXTURES.
 - THE ENGINEER AND/OR ARCHITECT SHALL BE RESPONSIBLE FOR THE LAYOUT OF LIGHTING FIXTURES AND SHALL VERIFY THAT THE LIGHTING FIXTURES ARE INSTALLED IN ACCORDANCE WITH THE LIGHTING SCHEDULE AND THE LIGHTING PLAN.
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 - THE ENGINEER AND/OR ARCHITECT SHALL BE RESPONSIBLE FOR THE LAYOUT OF LIGHTING FIXTURES AND SHALL VERIFY THAT THE LIGHTING FIXTURES ARE INSTALLED IN ACCORDANCE WITH THE LIGHTING SCHEDULE AND THE LIGHTING PLAN.

PAVEMENT IDENTIFICATION
 EXISTING CURB AND GUTTER
 PROPOSED CURB AND GUTTER
 PROPOSED PAVEMENT
 EXISTING GRAVEL
HATCHING LEGEND
 REMOVE PAVEMENT
 REMOVE SIDEWALK
 REMOVE CURB AND GUTTER

PROPOSED CALLOUTS
 PLAN VIEW
 ADJUST STRUCTURE
 ADJUST STRUCTURE W/ NEW COVER
 ADJUST STRUCTURE BY OTHERS
 RECONSTRUCT STRUCTURE
 RELOCATE
 RELOCATE BY OTHERS
 REMOVE
 REMOVE AND REPLACE
 SALVAGE
 SAVE
 ABANDON
 CLEARING
 BULGEHEAD
 SIDEWALK RAMP TYPE
 SOIL EROSION CONTROL MEASURE

PLAN VIEW LINE TYPES
 EXISTING STORM SEWER
 EXISTING CULVERT
 PROPOSED STORM SEWER LESS THAN 24"
 PROPOSED STORM SEWER 24" AND GREATER
 EXISTING SANITARY SEWER
 PROPOSED SANITARY SEWER
 EXISTING WATER MAIN
 PROPOSED WATER MAIN
 SECTION LINE
 EXISTING RIGHT OF WAY
 PROPOSED RIGHT OF WAY
 PROPOSED EASEMENT
 EXISTING CENTER LINE DITCH
 PROPOSED DITCH CENTERLINE
 EXISTING CENTER LINE ROADWAY
 PARCEL LINE / LOT LINE
 EXISTING OVERHEAD UTILITIES
 UNDERGROUND ELECTRICAL LINE
 GAS LINE OR PETROLEUM PIPELINE
 UNDERGROUND TELEPHONE LINE
 UNDERGROUND CABLE TV LINE
 UNDERGROUND FIBER OPTIC
 PROJECT CONTROL LINE
 TREE LINE
 BRUSH LINE
 EXISTING FENCE
 PROPOSED FENCE
 EXISTING GUARD RAIL
 PROPOSED SLOPE STAKE LINE
 PROPOSED SILT FENCE
TOPOGRAPHY
 EXISTING CONTOURS MAJOR
 EXISTING CONTOURS MINOR
 PROPOSED CONTOUR MAJOR
 PROPOSED CONTOURS MINOR

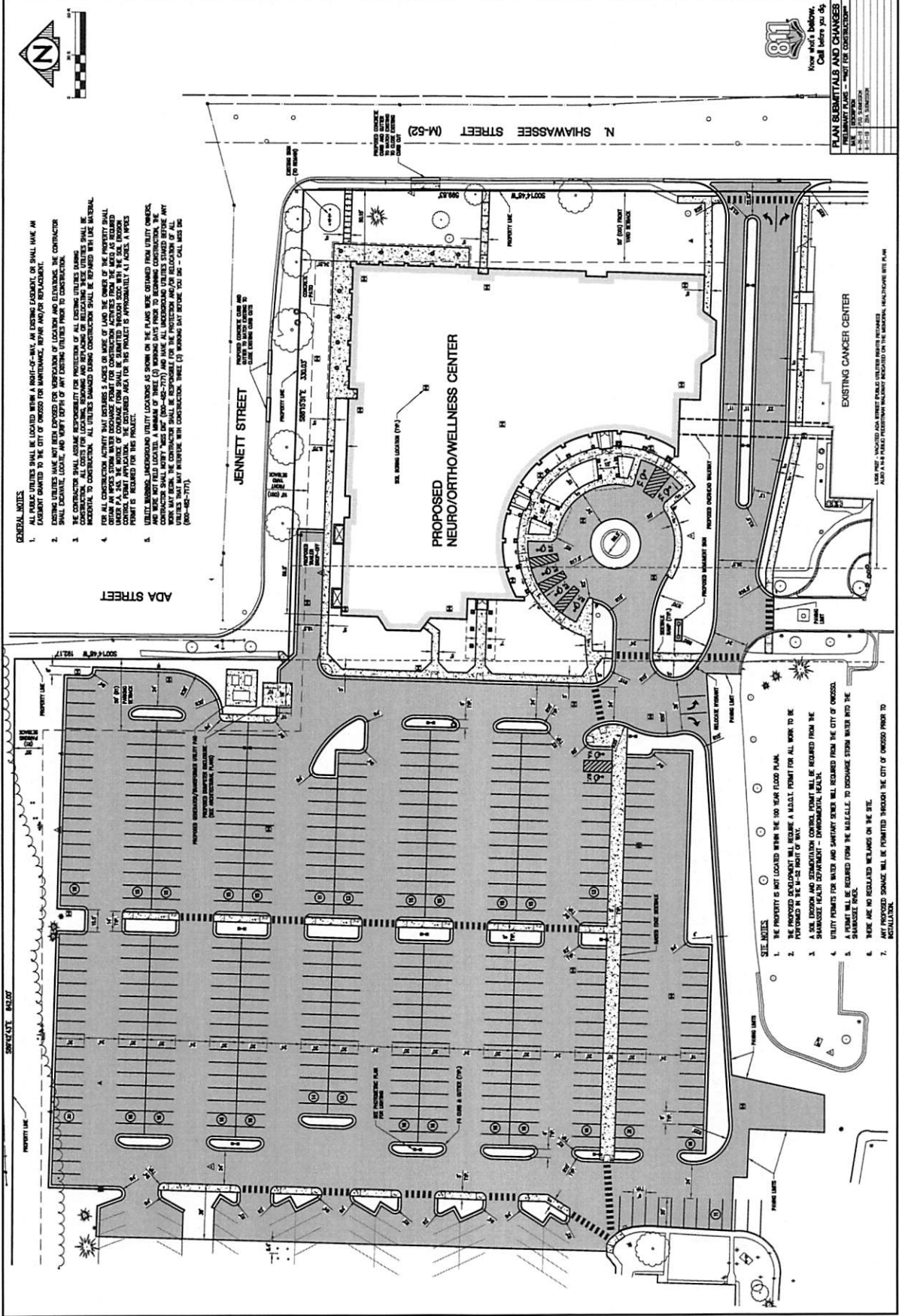
UTILITY SYMBOLS
 UTILITY POLE
 GUY ANCHOR CABLE
 LIGHT POLE / ORNAMENTAL LIGHT
 POWER LIGHT POLE
 TELEPHONE MANHOLE
 UNDERGROUND GAS LINE MARKER
 GAS RISER
 GAS VEAT
 GAS VALVE
 RAILROAD SIGNAL
 METAL LIGHT POLE
 OUTLET
 CIRCUIT BREAKER PANEL
 ELECTRICAL TRANSFORMER PAD
 ELECTRICAL TRANSFORMER RISER
 ELECTRIC METER
 TELEPHONE PEDESTAL / RISER
 TRAFFIC SIGNAL ON POLE
 PHONE BOOTH / PAY PHONE

STRUCTURE SYMBOLS
 EXISTING CATCH BASIN IN CURB LINE
 PROPOSED CATCH BASIN IN CURB LINE
 EXISTING CATCH BASIN IN GREEN SPACE
 PROPOSED CATCH BASIN IN GREEN SPACE
 EXISTING STORM MANHOLE
 PROPOSED STORM MANHOLE
 PROPOSED CULVERT END SECTION
 EXISTING HEADWALL
 PROPOSED HEADWALL
 EXISTING WATER SHUTOFF (SERVICE VALVE)
 EXISTING GATE VALVE AND BOX (STOP BOX)
 PROPOSED GATE VALVE AND BOX
 EXISTING GATE VALVE AND WELL
 PROPOSED GATE VALVE AND WELL
 EXISTING SPRINKLER HEAD
 EXISTING WATER WELL
 EXISTING FIRE HYDRANT
 PROPOSED FIRE HYDRANT
 PROPOSED WATER MAIN FITTINGS
 EXISTING CLEAN OUT
 EXISTING SANITARY SEWER MANHOLE
 PROPOSED SANITARY SEWER MANHOLE
 EXISTING MONITORING WELL

UTILITY SYMBOLS
 EXISTING STORM SEWER STRUCTURE NUMBER
 EXISTING SANITARY SEWER STRUCTURE NUMBER
 PROPOSED STORM SEWER STRUCTURE NUMBER
 PROPOSED SANITARY SEWER STRUCTURE NUMBER
 FLOW DIRECTION
 EXISTING RP-RAP
 PROPOSED RP-RAP
CAUTION SYMBOLS
 USED WITH UNDERGROUND GAS & ELECTRICAL LINES
 USED WITH FIBER OPTICS LINES

EXISTING TOPOGRAPHICAL SYMBOLS
 SIGN
 STREET SIGN
 END OF PIPE
 SWAMP OR WETLAND
 DECIDUOUS TREE
 CONIFEROUS TREE
 TREE STUMP
 MAIL BOX
 SOIL BORING
 ROCK
 METAL POST
 BUMPER BLOCK

PARCEL INFORMATION
 401-058
 401-059
 401-060
 401-061
 401-062
 401-063
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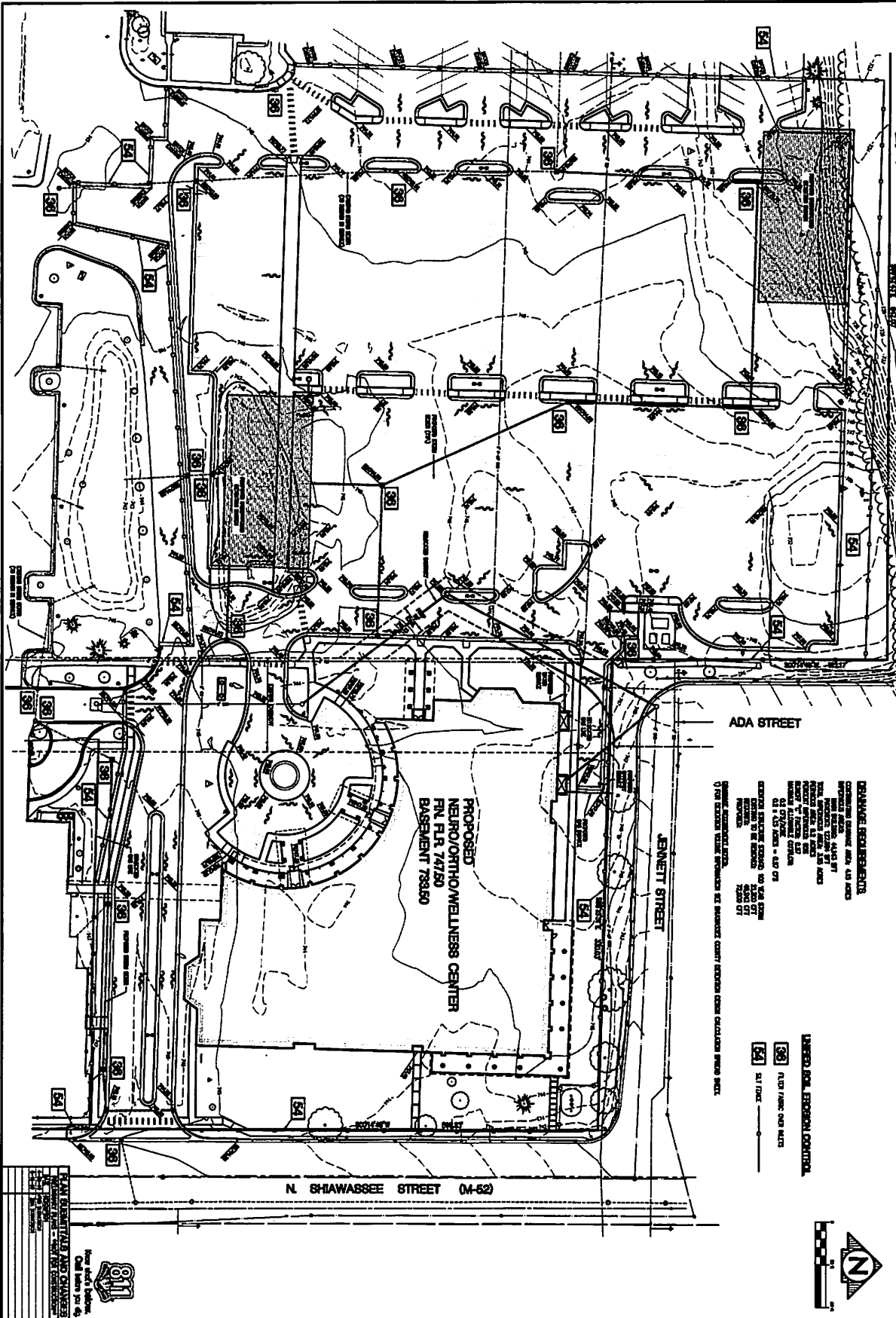
GENERAL NOTES

1. ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN A RIGHT-OF-WAY, AN EXISTING EASEMENT, OR SHALL HAVE AN EASEMENT GRANTED TO THE CITY OF OWOSSO FOR MAINTENANCE, REPAIR AND/OR REPLACEMENT.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES THROUGHOUT CONSTRUCTION. ALL COSTS FOR LOCATING, EXPOSING AND REPAIRING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. FOR ALL CONSTRUCTION ACTIVITY THAT OCCURS 2 FEET OR MORE OF THE PROPERTY SHALL BE UNDER PA-342. THE WORK OF COVERAGE SHALL BE SUBMITTED THROUGH STATE WITH THE SOIL EROSION CONTROL PLAN. A PERMITS AREA FOR THIS PROJECT IS APPROXIMATELY 41 ACRES. A PERMITS AREA FOR THIS PROJECT IS APPROXIMATELY 41 ACRES.
5. UTILITIES MARKING, INCLUDING UTILITY LOCATIONS AS SHOWN ON THE PLAN, WAS OBTAINED FROM PUBLIC UTILITY COMPANIES AND WAS NOT FIELD LOCATED. A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITIES (800-485-3777) AND HAVE ALL UNDERGROUND UTILITIES MARKED BEFORE ANY CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION. THREE (3) WORKING DAYS BEFORE YOU DO - CALL 800-485-3777.

SITE NOTES

1. THE PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN.
2. THE PROPOSED DEVELOPMENT WILL REQUIRE A MAJOR POINT FOR ALL WORK TO BE PERFORMED IN THE W-32 RIGHT OF WAY.
3. A SOIL EROSION AND SEDIMENTATION CONTROL POINT WILL BE REQUIRED FROM THE SAGINAW HEALTH DEPARTMENT - ENVIRONMENTAL HEALTH.
4. UTILITY POINTS FOR WATER AND SANITARY SEWER WILL BE REQUIRED FROM THE CITY OF OWOSSO.
5. A POINT WILL BE REQUIRED FROM THE MAJORITY TO DISCHARGE STORM WATER INTO THE SAGINAW RIVER.
6. THERE ARE NO RECLAIMED WETLANDS ON THE SITE.
7. ANY PROPOSED SOILS WILL BE FURNISHED THROUGH THE CITY OF OWOSSO PRIOR TO INSTALLATION.

PLAN SUBMITTALS AND CHANGES
 Know what's below.
 Call before you dig.
 PRELIMINARY PLANS - NOT FOR CONSTRUCTION
 811
 811-1-1-15 300 1500000



PROPOSED
NEURO/ORTHO/WELLNESS CENTER
FIN. FLR. 74750
BASEMENT 73560

ADA STREET

ENNETT STREET

N. SHIAWASSEE STREET (M-52)

DESIGN/CONSTRUCTION REQUIREMENTS
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 2. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY TO MAINTAIN A MINIMUM COVER OF 48" BELOW FINISHED GRADE.
 3. ALL UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO CONSTRUCTION.
 4. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
 5. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY TO MAINTAIN A MINIMUM COVER OF 48" BELOW FINISHED GRADE.
 6. ALL UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO CONSTRUCTION.
 7. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
 8. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY TO MAINTAIN A MINIMUM COVER OF 48" BELOW FINISHED GRADE.
 9. ALL UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO CONSTRUCTION.
 10. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.

EXISTING CONDITIONS
 1. 1" = 10' (VERTICAL)
 2. 1" = 10' (HORIZONTAL)

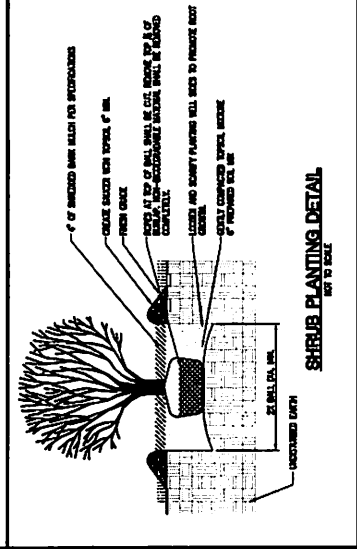
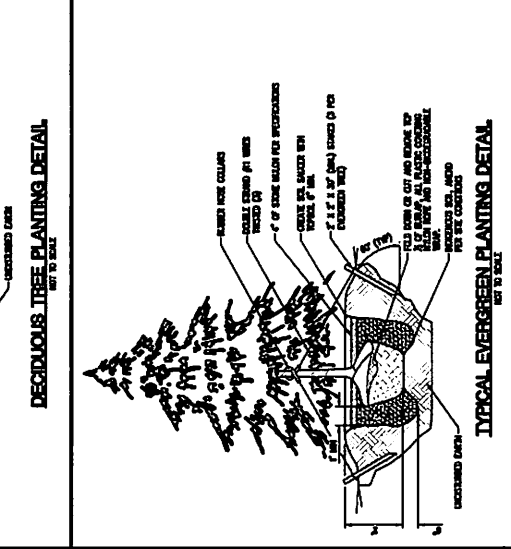
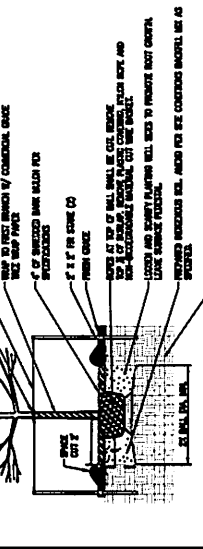


PLAN SHEETS AND CHANGES
 SHEET NO. 5 OF 10
 DATE: 04/18/2019
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

PREPARED FOR
**MEMORIAL HEALTHCARE
 NEURO/ORTHO/WELLNESS CENTER**
 OWOSSO, MICHIGAN
 GRADING AND UTILITY SHEET

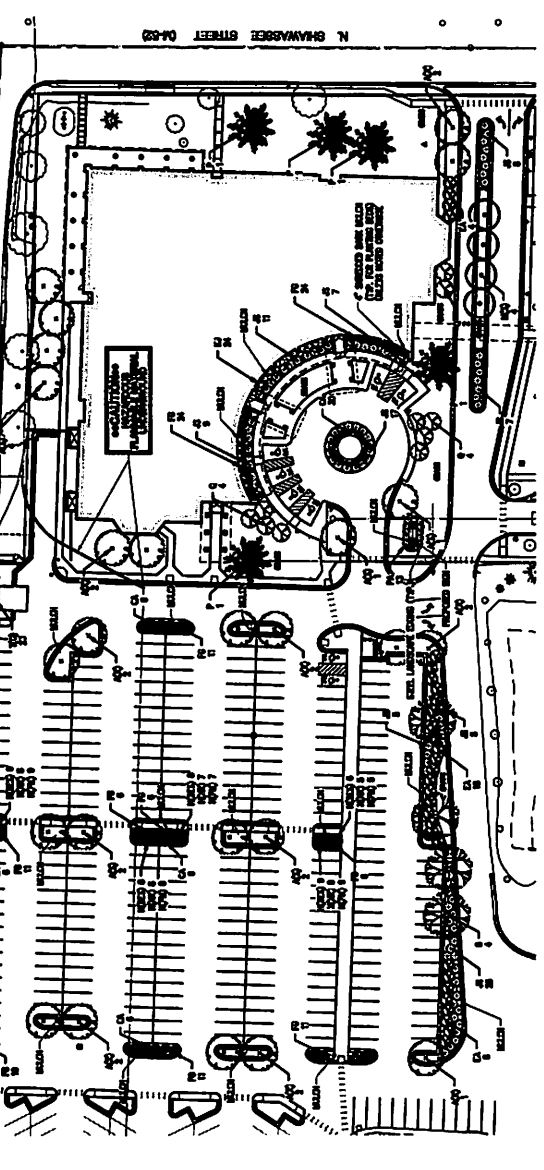
ROWE PROFESSIONAL SERVICES COMPANY
 The Rowe Building
 540 S. Saginaw St., Suite 200
 Flint, MI 48502
 O: (810) 341-7600
 F: (810) 341-7673
 www.rowespec.com

PLAN DATE: APRIL 18, 2019
 PROJECT MGR: R.A.S.
 REVIEWER: R.O.B.
 SCALE: 1" = 30'



LANDSCAPE NOTES:

1. ALL PLANTING SHALL BE INSTALLED AS SHOWN IN THE PLAN. ANY CHANGES TO THE PLANTING SHALL BE APPROVED BY THE OWNER.
2. ALL PLANTING SHALL BE INSTALLED AS SHOWN IN THE PLAN. ANY CHANGES TO THE PLANTING SHALL BE APPROVED BY THE OWNER.
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9. ALL PLANTING SHALL BE INSTALLED AS SHOWN IN THE PLAN. ANY CHANGES TO THE PLANTING SHALL BE APPROVED BY THE OWNER.
10. ALL PLANTING SHALL BE INSTALLED AS SHOWN IN THE PLAN. ANY CHANGES TO THE PLANTING SHALL BE APPROVED BY THE OWNER.



PLANT IDENTIFIERS AND QUANTITIES

SYM	HT	REMARKS	COMMON NAME	NOTES	QUANTITY
①	CA	CHARLESTON GUM	RED BARK	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
②	CA	COASTAL REDWOOD	CONTACT BARK	NO. 3 CORAL, 3 FT.	24 0 0 0 SPINDS
③	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	120 0 0 0 SPINDS
④	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑤	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑥	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑦	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑧	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑨	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑩	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS

PLANT IDENTIFIERS AND QUANTITIES

SYM	HT	REMARKS	COMMON NAME	NOTES	QUANTITY
⑪	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑫	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑬	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑭	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑮	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS

PLANT IDENTIFIERS AND QUANTITIES

SYM	HT	REMARKS	COMMON NAME	NOTES	QUANTITY
⑯	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑰	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑱	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑲	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
⑳	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS

PLANT IDENTIFIERS AND QUANTITIES

SYM	HT	REMARKS	COMMON NAME	NOTES	QUANTITY
㉑	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
㉒	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
㉓	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
㉔	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
㉕	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS

PLANT IDENTIFIERS AND QUANTITIES

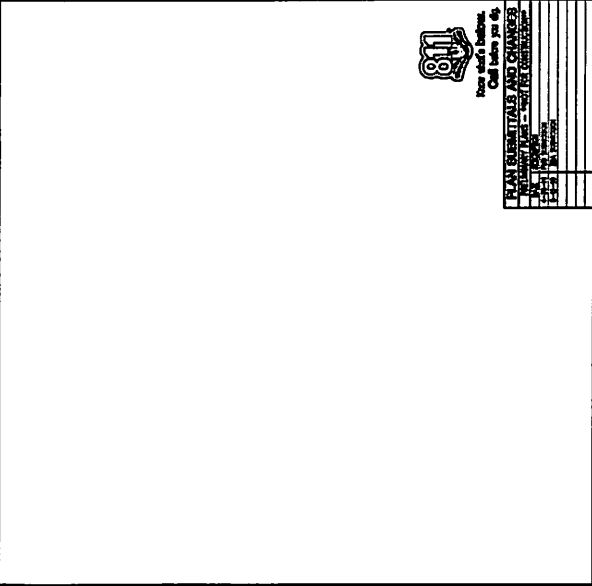
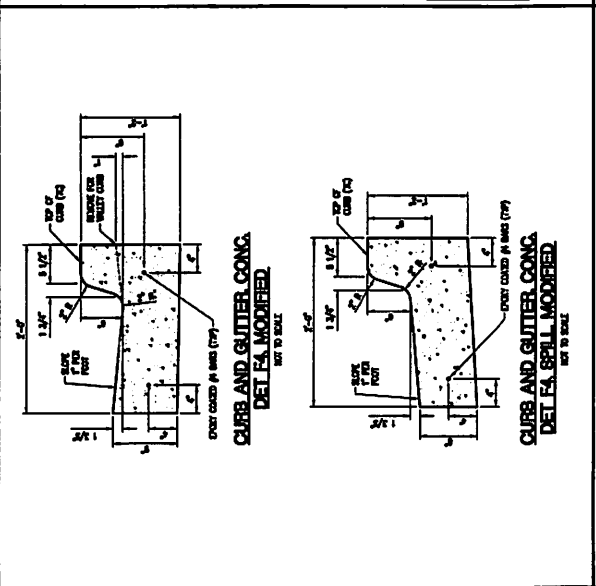
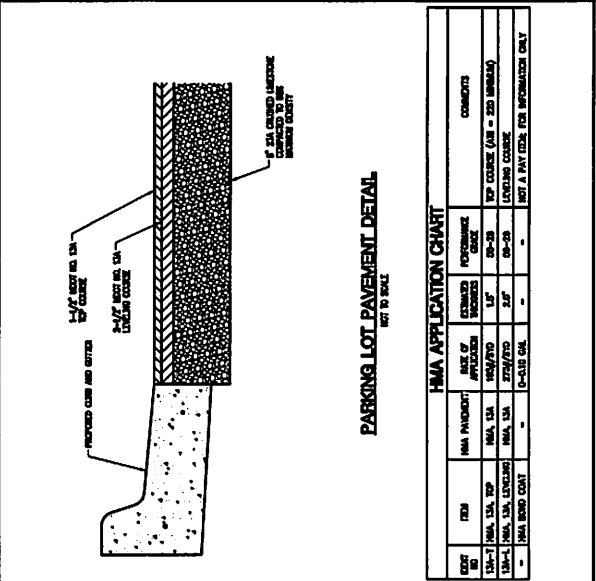
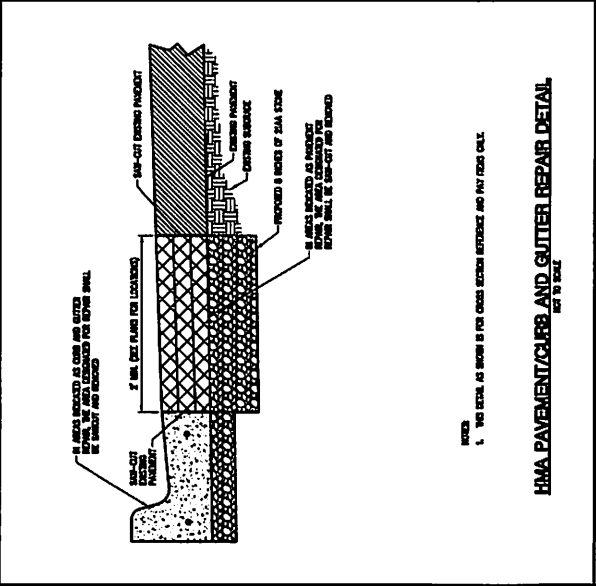
SYM	HT	REMARKS	COMMON NAME	NOTES	QUANTITY
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㉗	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
㉘	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
㉙	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS
㉚	FR	FRONTALIS	CRIMP	NO. 3 CORAL, 3 FT.	48 0 0 0 SPINDS

PLAN DATE: APRIL 15, 2019
 PROJECT MGR: D.A.S.
 R.S.B.
 NO SCALE

ROWE PROFESSIONAL SERVICES COMPANY
 640 S. Saginaw St., Suite 200
 Flint, MI 48902
 P: (313) 341-7573
 F: (313) 341-7572
 WWW.ROWEPRO.COM

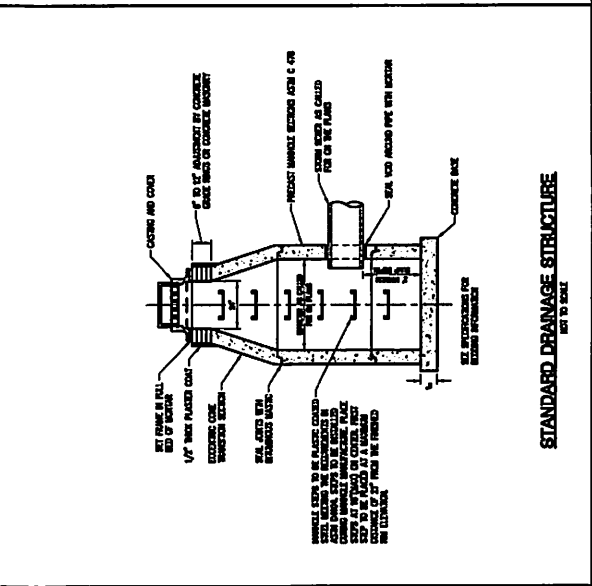
PREPARED FOR
MEMORIAL HEALTHCARE
NEURO/ORTHO/WELNESS CENTER
 OMOSHO, MICHIGAN
 DETAILS SHEET

REV: **07**
 SHEET 7 of 10
 509 No. 1500010



HMA APPLICATION CHART

ITEM	ITEM	HMA PAVEMENT	TYPE OF SURFACE	THICKNESS	COMMENTS
13A-1	HMA 1.5% LTP	HMA 1.5%	UNGRAVELLED	1.5"	TOP COURSE (AIR - 200 MIN/IN)
13A-2	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-3	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-4	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-5	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-6	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-7	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-8	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-9	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-10	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-11	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-12	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-13	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-14	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-15	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-16	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-17	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-18	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-19	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-20	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-21	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-22	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-23	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-24	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-25	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-26	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-27	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-28	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-29	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-30	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-31	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-32	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-33	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-34	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-35	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-36	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-37	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-38	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-39	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-40	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-41	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-42	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-43	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-44	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-45	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-46	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-47	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-48	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-49	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-50	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-51	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-52	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-53	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-54	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
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13A-56	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-57	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-58	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-59	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
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13A-65	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
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13A-67	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-68	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-69	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-70	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-71	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-72	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-73	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-74	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-75	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-76	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-77	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-78	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-79	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-80	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-81	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-82	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-83	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-84	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-85	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-86	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-87	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-88	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-89	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-90	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-91	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-92	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-93	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-94	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-95	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-96	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-97	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-98	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-99	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE
13A-100	HMA 1.5% LTP	HMA 1.5%	GRAVELLED	2.0"	TOP COURSE



PLAN SUBMITTALS AND CHANGES
 REVISIONS
 NO. DATE BY
 1 11/15/18 J.S.B.
 2 04/15/19 J.S.B.
 3 04/15/19 J.S.B.
 4 04/15/19 J.S.B.
 5 04/15/19 J.S.B.
 6 04/15/19 J.S.B.
 7 04/15/19 J.S.B.
 8 04/15/19 J.S.B.
 9 04/15/19 J.S.B.
 10 04/15/19 J.S.B.

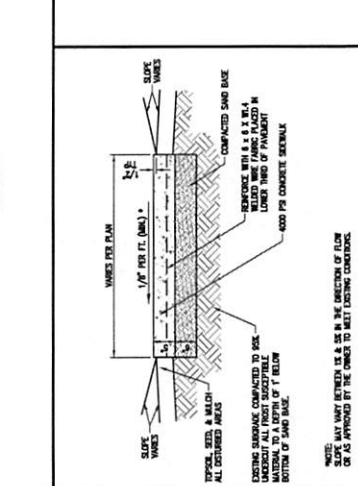
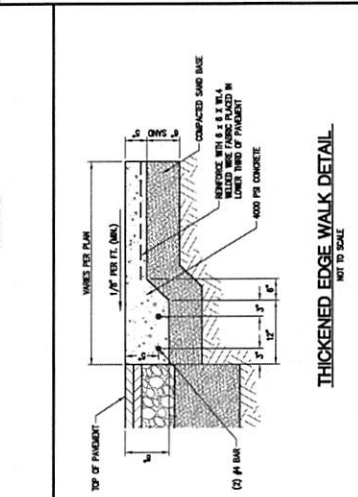
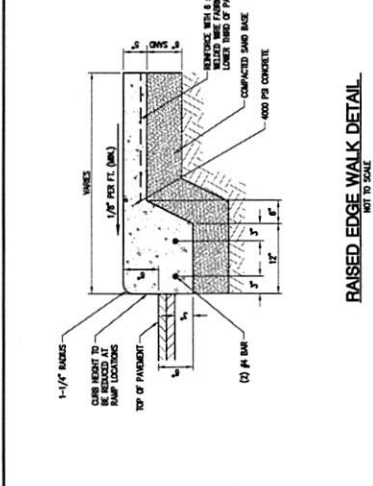
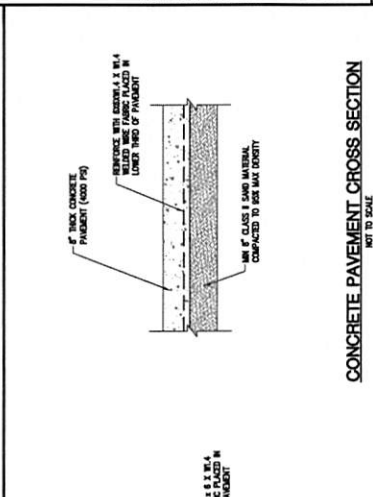
PLAN DATE: APRIL 18, 2019
 PROJECT MGR: D.A.S.
 REVIEWER: R.D.B.
 SCALE: NO SCALE

ROWE PROFESSIONAL SERVICES COMPANY
 C: (810) 341-7500
 F: (810) 341-7573
 www.roweps.com

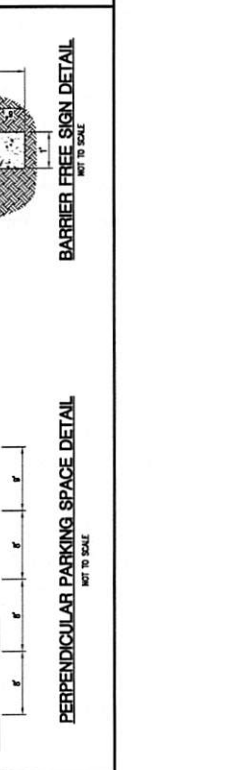
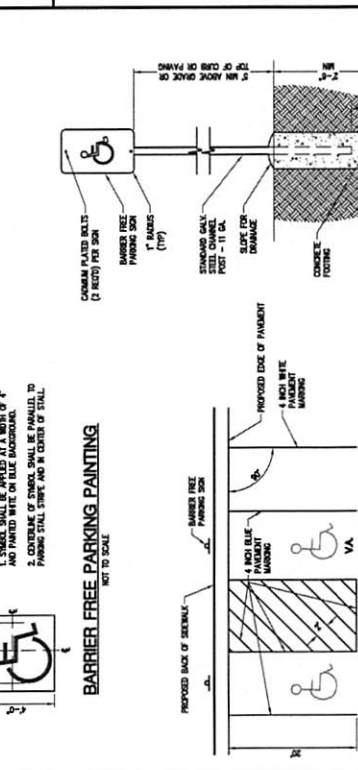
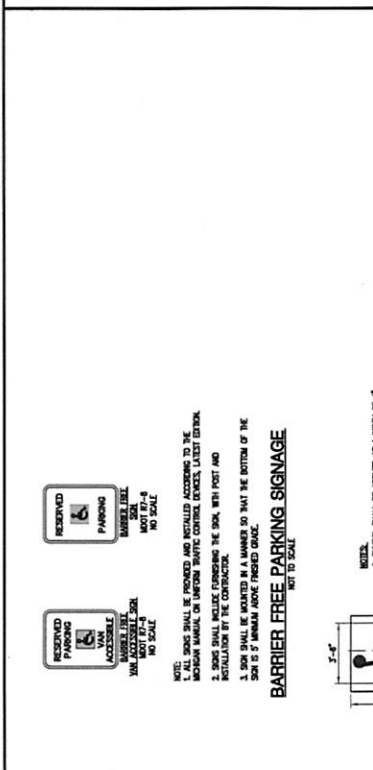
The Rowe Building
 540 S. Saginaw St., Suite 200
 Flint, MI 48502

PREPARED FOR
**MEMORIAL HEALTHCARE
 NEURO/ORTHO/WEIENESS CENTER**
 OWOSSO, MICHIGAN
 DETAILS SHEET

REV: C8
 SH# 8 of 10
 JOB NO: 1800019



PLAN SUBMITTALS AND CHANGES
 PRELIMINARY PLANS - NOT FOR CONSTRUCTION
 8/11/18 THE UNIVERSITY OF MICHIGAN
 2-1-18 THE UNIVERSITY OF MICHIGAN
 Know what's below.
 Call before you dig.



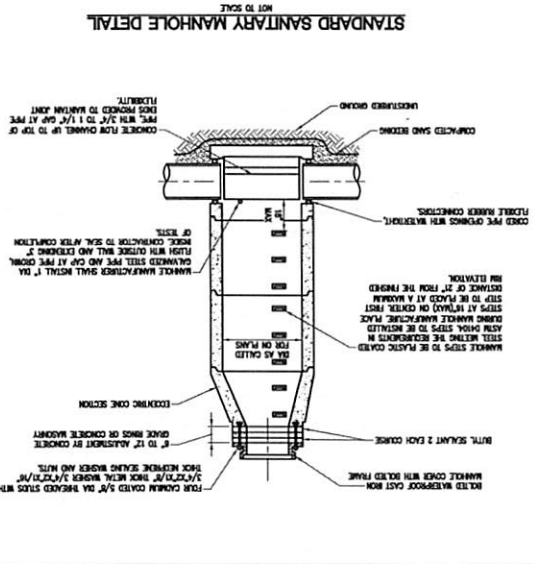
NOTE: ALL SIGNS SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. THE SIGN SHALL BE INSTALLED ON THE SIDE OF THE ROAD, OR ON THE SIDE OF THE ROAD, OR ON THE SIDE OF THE ROAD, OR ON THE SIDE OF THE ROAD.

NOTE: SIGNS SHALL BE LOCATED IN A MANNER SO THAT THE BOTTOM OF THE SIGN IS 5' MINIMUM ABOVE FINISHED GRADE.

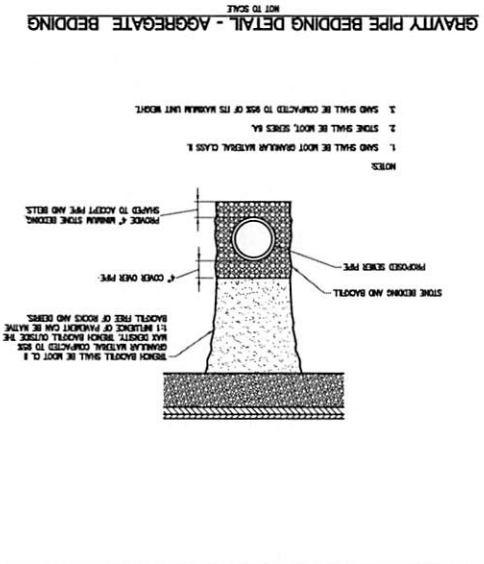
NOTE: SIGNS SHALL BE APPLIED AT A WIDTH OF 4' AND SHALL BE APPLIED AT A WIDTH OF 4' AND SHALL BE APPLIED AT A WIDTH OF 4' AND SHALL BE APPLIED AT A WIDTH OF 4'.

NOTE: DIMENSIONS OF SIGNS SHALL BE PARALLEL TO PARKING STRIP AND IN CORNER OF STRIP.

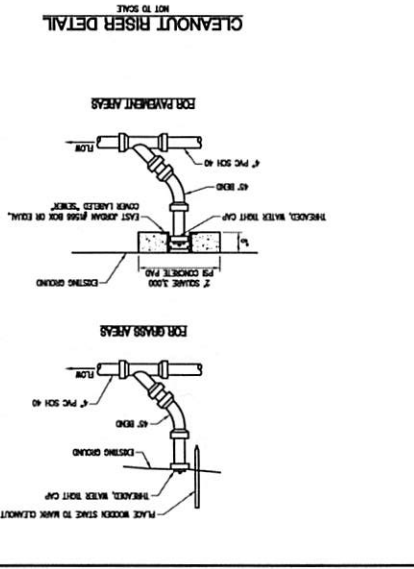
STANDARD SANITARY MANHOLE DETAIL



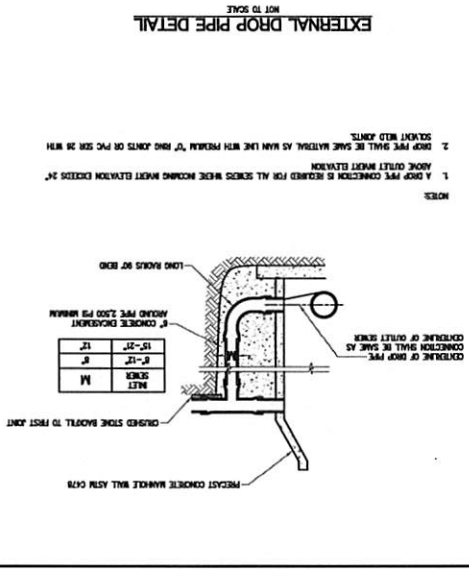
GRAVITY PIPE BEDDING DETAIL - AGGREGATE BEDDING



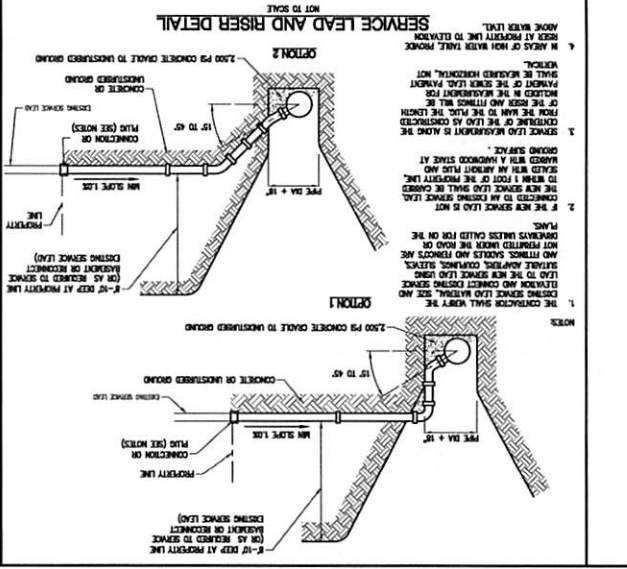
CLEANOUT RISER DETAIL



EXTERNAL DROP PIPE DETAIL



SERVICE LEAD AND RISER DETAIL



REVISIONS:
 1-11-18 THE MANHOLE
 2-2-18 THE MANHOLE
 3-1-18 THE MANHOLE
 4-1-18 THE MANHOLE
 5-1-18 THE MANHOLE
 6-1-18 THE MANHOLE
 7-1-18 THE MANHOLE
 8-1-18 THE MANHOLE
 9-1-18 THE MANHOLE
 10-1-18 THE MANHOLE

PLAN SUBMITTALS AND CHANGES
 PRELIMINARY PLANS - NOT FOR CONSTRUCTION
 Call before you dig
 Know what's below

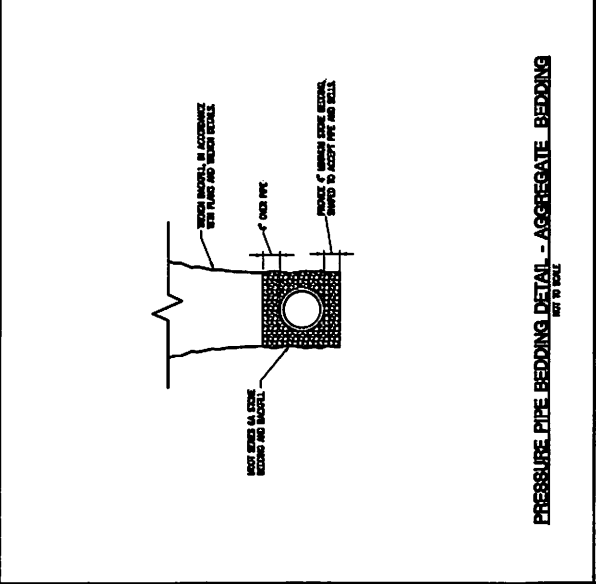
REV: 09
 SH# 9 OF 10
 JOB NO. 19C0019

PREPARED FOR
**MEMORIAL HEALTHCARE
 NERO/ORTHO/WEALTH CARE CENTER**
 OWOSSO, MICHIGAN
 SANITARY DETAILS SHEET

**ROWE PROFESSIONAL
 SERVICES COMPANY**
 The Rowe Building
 540 St. Sigourney St., Suite 200
 Flint, MI 48902

PLAN DATE: APRIL 18, 2019
 PROJECT WDR: D.A.S.
 REVISIONS: R.D.B.
 SCALE: NO SCALE

WWW.ROWEPROF.COM
 (810) 341-7500
 (810) 341-7573



PRESSURE PIPE BEDDING DETAIL - AGGREGATE BEDDING
NOT TO SCALE

MINIMUM PIPE RESTRAINT SCHEDULE FOR GROUND BURIED PRESSURE PIPES (SEE NOTE 1)

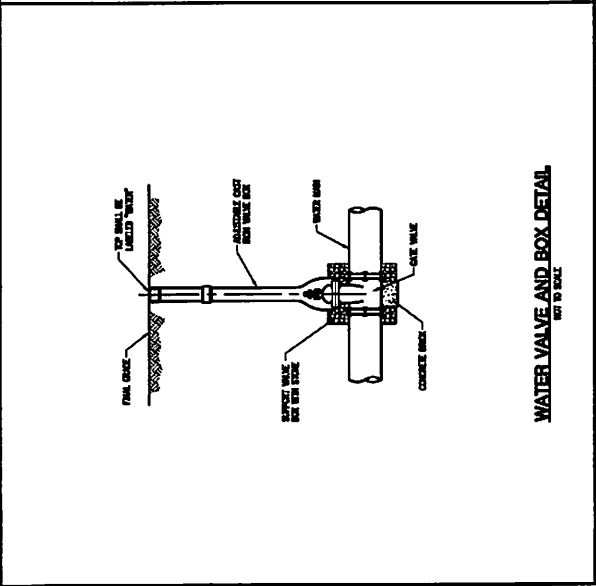
LENGTH (IN FEET) OF RESTRAINT REQUIRED (SEE NOTE 2)

INSTALLATION TYPE	24-IN. (6.09-M.) DIA. PIPE			36-IN. (9.14-M.) DIA. PIPE		
	10' DIA.	15' DIA.	24' DIA.	10' DIA.	15' DIA.	24' DIA.
1	10	10	10	10	10	10
2	10	10	10	10	10	10
3	10	10	10	10	10	10
4	10	10	10	10	10	10
5	10	10	10	10	10	10
6	10	10	10	10	10	10
7	10	10	10	10	10	10
8	10	10	10	10	10	10
9	10	10	10	10	10	10
10	10	10	10	10	10	10
11	10	10	10	10	10	10
12	10	10	10	10	10	10
13	10	10	10	10	10	10
14	10	10	10	10	10	10
15	10	10	10	10	10	10
16	10	10	10	10	10	10
17	10	10	10	10	10	10
18	10	10	10	10	10	10
19	10	10	10	10	10	10
20	10	10	10	10	10	10
21	10	10	10	10	10	10
22	10	10	10	10	10	10
23	10	10	10	10	10	10
24	10	10	10	10	10	10
25	10	10	10	10	10	10
26	10	10	10	10	10	10
27	10	10	10	10	10	10
28	10	10	10	10	10	10
29	10	10	10	10	10	10
30	10	10	10	10	10	10

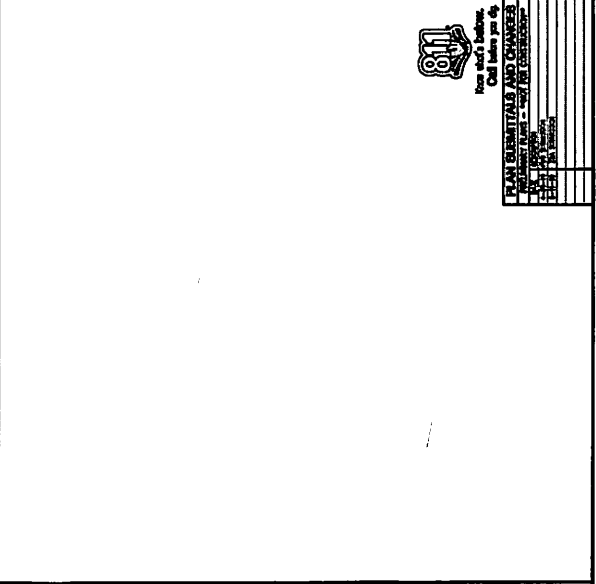
NOTES:

- THIS TABLE IS BASED ON A UNIT WEIGHT OF 150 LBS PER CUBIC FOOT. FOR OTHER UNIT WEIGHTS, THE RESTRAINT REQUIREMENT WILL VARY. CONSULT THE MANUFACTURER FOR THE RESTRAINT REQUIREMENT TO BE ENFORCED ON YOUR INSTALLATION.
- IN EACH SECTION FROM POINT OF INSTALLATION OR TERMINATION EXCEPT FOR A USE AS SHOWN, THE RESTRAINT IS THE MINIMUM OF THE TWO VALUES.
- IF THE RESTRAINT IS NOT PROVIDED AS SHOWN IN THIS TABLE, THE RESTRAINT REQUIREMENT SHALL BE AS SHOWN IN THIS TABLE.

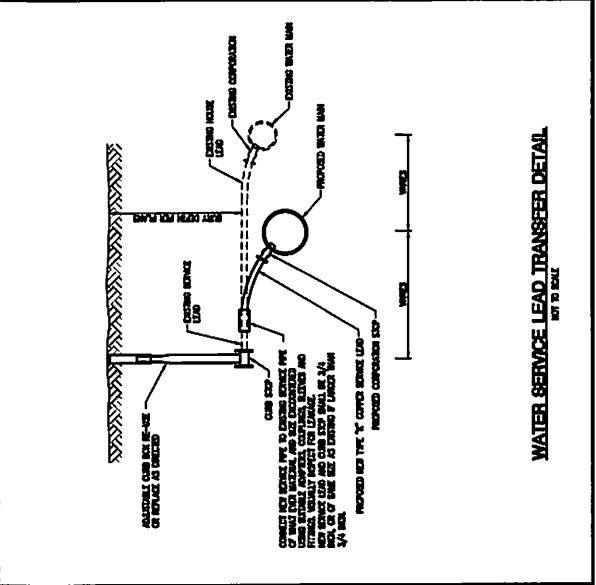
PIPE RESTRAINT SCHEDULE
NOT TO SCALE



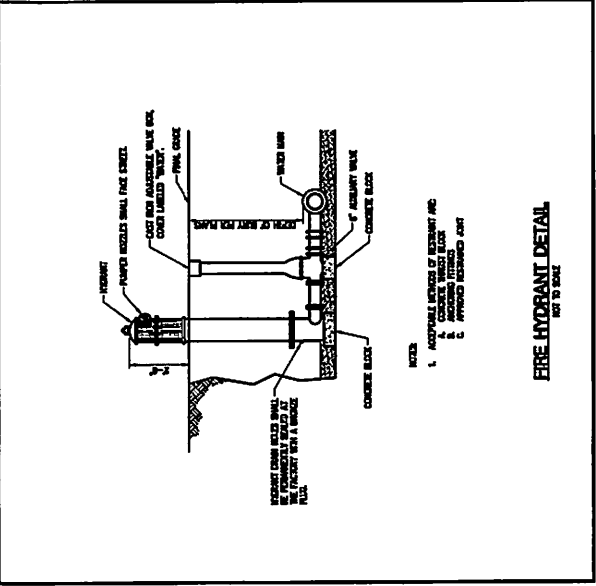
WATER VALVE AND BOX DETAIL
NOT TO SCALE



WATER SERVICE LEAD TRANSFER DETAIL
NOT TO SCALE



FIRE HYDRANT DETAIL
NOT TO SCALE



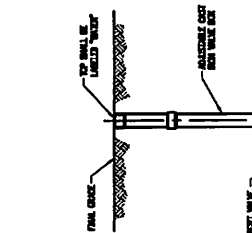
PRESSURE PIPE BEDDING DETAIL - AGGREGATE BEDDING
NOT TO SCALE

MINIMUM PIPE RESTRAINT SCHEDULE FOR GROUND BURIED PRESSURE PIPES (SEE NOTE 1)

INSTALLATION TYPE	24-IN. (6.09-M.) DIA. PIPE			36-IN. (9.14-M.) DIA. PIPE		
	10' DIA.	15' DIA.	24' DIA.	10' DIA.	15' DIA.	24' DIA.
1	10	10	10	10	10	10
2	10	10	10	10	10	10
3	10	10	10	10	10	10
4	10	10	10	10	10	10
5	10	10	10	10	10	10
6	10	10	10	10	10	10
7	10	10	10	10	10	10
8	10	10	10	10	10	10
9	10	10	10	10	10	10
10	10	10	10	10	10	10
11	10	10	10	10	10	10
12	10	10	10	10	10	10
13	10	10	10	10	10	10
14	10	10	10	10	10	10
15	10	10	10	10	10	10
16	10	10	10	10	10	10
17	10	10	10	10	10	10
18	10	10	10	10	10	10
19	10	10	10	10	10	10
20	10	10	10	10	10	10
21	10	10	10	10	10	10
22	10	10	10	10	10	10
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25	10	10	10	10	10	10
26	10	10	10	10	10	10
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29	10	10	10	10	10	10
30	10	10	10	10	10	10

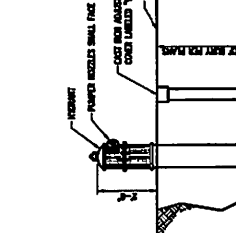
- NOTES:
- THIS TABLE IS BASED ON A UNIT WEIGHT OF 150 LBS PER CUBIC FOOT. FOR OTHER UNIT WEIGHTS, THE RESTRAINT REQUIREMENT WILL VARY. CONSULT THE MANUFACTURER FOR THE RESTRAINT REQUIREMENT TO BE ENFORCED ON YOUR INSTALLATION.
 - IN EACH SECTION FROM POINT OF INSTALLATION OR TERMINATION EXCEPT FOR A USE AS SHOWN, THE RESTRAINT IS THE MINIMUM OF THE TWO VALUES.
 - IF THE RESTRAINT IS NOT PROVIDED AS SHOWN IN THIS TABLE, THE RESTRAINT REQUIREMENT SHALL BE AS SHOWN IN THIS TABLE.

WATER VALVE AND BOX DETAIL
NOT TO SCALE



- NOTES:
- ANY WALLS EXPOSED TO RESTRAINT AND COVERED WITH CONCRETE SHALL BE PROTECTED WITH 1/2\"/>

WATER SERVICE LEAD TRANSFER DETAIL
NOT TO SCALE



- NOTES:
- ANY WALLS EXPOSED TO RESTRAINT AND COVERED WITH CONCRETE SHALL BE PROTECTED WITH 1/2\"/>

PRESSURE PIPE BEDDING DETAIL - AGGREGATE BEDDING
NOT TO SCALE

